

*Original*

CLAYTON UTZ

**Brisbane City Council**

BCC

**Queensland Floods Commission of Inquiry**

Inquiry

# Supplementary Statement of Rory John Kelly - 8 September 2011

**Volume 1 of 1**

Clayton Utz  
Lawyers

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Our reference 14118/80117397

Legal\303901783.1

**QFCI**

Date:

27/09/11

Exhibit Number:

634

## Second Statement of Rory John Kelly

I, **Rory John Kelly**, Town Planner, of Level 12, Brisbane Square, 266 George Street, Brisbane, in the State of Queensland, state on oath as follows:

### Introduction

1. I refer to my first statement regarding the Tennyson development site and the Tennyson Reach development dated 31 August 2011 (**First Statement**).
2. In particular, I refer to paragraphs 119 and 120 of my First Statement in which I stated that during the course of my preparation for that statement and following a review of the relevant files it had come to my attention that:
  - (a) an application to amend a development approval and amend a condition of a development approval for the Tennyson Reach development was approved on 9 October 2009. That approved amendment included some storage and other non-habitable areas for the Tennis Centre which might have involved some consideration of flood impacts; and
  - (b) a current application for a Request for Permissible Change to a Development Approval (dated 21 June 2011) including for an expansion of change room facilities, new storage areas and other non-habitable areas forming part of the Tennis Centre, will likely include a consideration of flood impacts.
3. For the purposes of providing this Supplementary Statement I have, in my position at Council as Regional Manager - Development Assessment South, had access to:
  - (a) the business records of Council; and
  - (b) Council officers,to obtain the requisite information. Unless otherwise stated, the matters set out in this Supplementary Statement are based on my own knowledge and the information derived from the above sources.
4. Unless otherwise stated, the documents attached to this Supplementary Statement have been collated by me or by Council officers under my direction and instruction.

  
Rory John Kelly

  
Witness



5. I have now completed my investigations into the above and set out the relevant information in relation to the 9 October 2009 development approval and the current permissible change application before Council.

#### **Tennyson Reach development**

6. On 9 October 2006 Council gave a Negotiated Decision Notice a copy of which is Attachment **RJK-32** to my First Statement.
7. Subsequent requests to change the development approval have been given by Council to Mirvac for the Tennyson Reach development, however these approvals do not impact upon height of the habitable floor levels and do not relate to flooding impacts.

#### **9 October 2009 Development Approval**

8. On 13 August 2009, Brannock & Associates on behalf of Mirvac lodged a request under sections 3.5.24 and 3.5.33 of the *Integrated Planning Act 1997* (now repealed) to change an existing development approval and change a condition of the Development Approval given by Council in the Negotiated Decision Notice dated 9 October 2006 for the Tennyson Reach development (**the Request**). A copy of the Request is Attachment **RJK-33**.
9. I was not involved in the assessment of the Request. Although my name appears on the decision notice, the approval was signed by [REDACTED] Principal Planner Development Assessment South.
10. So far as I am aware at the Daily Team Meeting (DTM) held on 25 August 2009, David Paterson was the nominated DELEGATE of COUNCIL for this application as he was the immediate supervisor of Shirley Shannon, Senior Urban Planner, Development Assessment South.
11. I am also aware that [REDACTED] was on annual leave from 24 August to 18 September 2009. Furthermore the electronic record in DART indicates the 'Decision of Delegate' template used to draft recommendations for this application was created on 9 September 2009, although I note the document is dated 5 October 2009. It is likely that Shirley Shannon put me as the delegate as she may have anticipated finalising the application prior to [REDACTED] returning from annual leave. It is not unusual as Regional Manager to exercise delegated authority when officers are on annual leave. In this instance, it appears that [REDACTED] has not changed the name of the delegate in the 'Decision of the Delegate' template.

[REDACTED]  
Rory John Kelly

[REDACTED]  
Witness

12. Despite me not being involved in the assessment of the Request, from the Council files I can make the following observations.
13. The Request sought changes to the Development Approval given by Council in the Negotiated Decision Notice dated 9 October 2006. The changes sought included:
- (a) new undercroft multi purpose room (**MPR**) which included additional gross floor area (**GFA**) of 407m<sup>2</sup>;
  - (b) new undercroft storage rooms which included additional GFA of 244m<sup>2</sup> (two rooms at 118m<sup>2</sup> and 126m<sup>2</sup> respectively);
  - (c) new store room under stadium plats which included additional GFA of 31m<sup>2</sup>;
  - (d) new podium shade structures on Western concourse which included nil additional GFA;
  - (e) new café shade structure which included nil additional floor area;
  - (f) new spectator seating and shade to external courts;
  - (g) new BBQ area which included nil additional floor area; and
  - (h) new materials storage which included nil additional floor area.
14. In relation to the request to change a condition, the Request sought amendment only to Condition 31, namely changes to the plans referenced in relation to permanent shade structures, with the following new plans submitted for approval:
- (a) 11-DA1012 rev D (05.08.2009) - Queensland Tennis Centre - Floor Plan Level 2;
  - (b) 11-DA1011 rev D (05.08.2009) - Queensland Tennis Centre - General Arrangement Plan Level 1;
  - (c) 11-DA1950 rev A (06.08.2009) - Queensland Tennis Centre - Proposed Podium Shade Structure - View 1;
  - (d) 11-DA1951 rev A (06.08.2009) - Queensland Tennis Centre - Proposed Podium Shade Structure - View 2; and
  - (e) 11-DA1952 rev A (06.08.2009) - Queensland Tennis Centre - Proposed Podium Shade Structure - View 3.

  
Rory John Kelly

  
Witness

15. The Council file contains a memorandum from Shirley Shannon addressed to "Mario F" and "Paul Hills". "Mario F" refers to Mario Furlan, who at that time had the role of Architect/Urban Designer, Development Assessment South. Paul Hills at that time had the role of Principal Engineering Officer, Development Assessment South. Mario Furlan and Paul Hills were both identified in the DTM as relevant referral officers within the team for the assessment of this Request.

A copy of that memorandum is Attachment **RJK 34**.

16. The Council file contains an internal email from [REDACTED] Engineering Officer Development Assessment South, to Shirley Shannon dated 7 September 2009 that relevantly states that:

*"The modification will not have any impact on engineering conditions that were previously set."*

A copy of the email from [REDACTED] is Attachment **RJK 35**.

17. I am familiar with Development Assessment South's practice and based on their respective roles within Development Assessment South, I assume that Paul Hills as supervising engineer of Hein Nguyen forwarded the memorandum contained in paragraph 15 above to [REDACTED] for engineering assessment. Although I can find no evidence of that having occurred from the Council file it would be normal practice.

18. The Council file contains an internal email from [REDACTED] to Shirley Shannon, dated 14 September 2009, that relevantly states that:

*"3. It is noted that the town planning report states that these rooms [undercroft rooms] will also be used as playing training and development. However, it appears that a flood barrier is to be incorporated along the door openings (eastern side). It is questionable as to how these protection barriers will operate in terms of flooding. The applicant should demonstrate how these barriers will work. It is also considered that this may require engineering input. This issue to be commented by the Hydraulic Engineers."*

A copy of the internal email from Mario Furlan to Shirley Shannon is Attachment **RJK 36**.

19. In an email dated 17 September 2009, Brannock & Associates provided the following:

*"Following our telephone discussion yesterday, please find below details of the usage of the proposed undercroft spaces as requested, for the purpose of calculating infrastructure charges"*

[REDACTED]  
Rory John Kelly

[REDACTED]  
Witness

"Multi Purpose Rooms

1. National Academy player training and development
2. Additional Gymnasium equipment for cardiovascular training

Storage Areas

1. spare dining tables, seating
2. event / tournament signage
3. temporary seating
4. showcourt umpire chairs
5. storage of TQ equipment during Brisbane International bump-in."

A copy of the email from Brannock & Associates dated 17 September 2009 is Attachment **RJK 37**.

20. The Council file shows that on 17 September 2009, Shirley Shannon sent an email to Brannock & Associates requesting a response to those issues identified by Mario Furlan, including as outlined in paragraph 18 of this Supplementary Statement.

A copy of the email from Shirley Shannon dated 17 September 2009 is Attachment **RJK 38**.

21. The file indicates that by email dated 18 September 2009, Brannock & Associates provided a response, which included the following:

*"In a 1:100 year flood, the clay and grass courts will be under water, along with the existing MPR. The rear walls of the existing MPR and the proposed MPR are fire rated and also acted as a flood wall to ensure water goes no further.*

*The proposed MPR rooms are not habitable and I do not believe that flood prevention is required. The flood gates are a proprietary item to facilitate the protection of these areas in the event of flood as an option rather than a requirement (refer link below). The flood gates do not impede the day to day function of the facility.*

*<http://www.floodgatesaustralia.com/commercial.html>*"

A copy of the email from Brannock & Associates dated 18 September 2009 is Attachment **RJK 39**.

  
in Kelly

  
Witness

22. The Council file indicates that the response from Brannock & Associates was forwarded by Shirley Shannon to Mario Furlan by email dated 29 September 2009.

A copy of the email from Shirley Shannon to Mario Furlan dated 29 September 2009 is Attachment **RJK 40**.

23. The Council file indicates that Mario Furlan responded to Shirley Shannon by email on the same day stating that:

*"With regards to the information response to the above application, The applicant has addressed the issue previously raised.*

1. *It is recommended that the applicant revise the drawings to include the PWD toilet.*
2. *The pathways to the MPR's are to be compliant with AS 1428 [Design for Access and Mobility]."*

A copy of the email from Mario Furlan to Shirley Shannon is Attachment **RJK 41**.

24. I note from the Council file that the advice from Mario Furlan outlined in the paragraph above was conveyed to Brannock & Associates by Shirley Shannon in an email dated 29 September 2009.

A copy of the email from Shirley Shannon to Brannock & Associates dated 29 September 2009 is Attachment **RJK 42**.

25. By email dated 29 September 2009, Brannock & Associates responded to Shirley Shannon, stating that, relevantly:

*"Please find attached scale drawing of the amended toilet layout for Council's consideration. I confirm that the pathways are compliant with AS 1428 and the certification process from the building certifier will ensure this is the case".*

Attached to that email is a copy of drawing 05B316 13-S2150 dated 25 September 2009 referred to in paragraph 29 below.

A copy of the email from Brannock & Associates dated 29 September 2009 is Attachment **RJK 43**.

26. On 9 October 2009, Council issued a Decision Notice for the Request, including a new approvals package.

A copy of the decision notice and approvals package is Attachment **RJK 44**.

  
Rory John Kelly

  
Witness

27. The body of the conditions of the existing development approval in relation to flooding were not changed, and consistent with the Negotiated Decision Notice, continued to provide as follows:

**"59) FLOODING - Q50 & Q100**

*Run off from the site and run off concentrated on the site from local catchments for storms up to the 50 year (ARI) flood event and for a 100 year (ARI) flood event for creek and river flooding, is to be managed in accordance with approved drainage plans and Council's "Subdivision and Development Guidelines" so as not to have any adverse effect on neighbouring properties.*

*Design and construct all buildings to have the appropriate freeboard in accordance with the Council's "Subdivision and Development Guidelines" so as not to be flooded during a 50 year (ARI) local flood event or a 100 year (ARI) creek or river flood event whichever is the higher flood level;*

**59(a) FLOODING - Q50 & Q100**

*Submit engineering plans and calculations, prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance with the Council's "Subdivision and Development Guidelines", demonstrating how the development will comply with this requirement. Such plans are to show adequate survey information on areas adjoining the site with particular attention to ponding of water and overland flow paths and building pads. Additionally, the submitted information is to determine the extent of any stormwater drainage works and the width of any overland flow easements. Obtain approval for the design from the Engineering Delegate, Development Assessment;*

**59(b) FLOODING - Q50 & Q100**

*Complete the works in accordance with the approved engineering plans; and*

**59(c) FLOODING - Q50 & Q100**

*Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.*

**GUIDELINE**

*This condition is intended to ensure that the design of the subject development accounts for the stormwater run off and/or if stormwater drainage patterns in the vicinity of the site require improvements. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment."*

28. The Negotiated Decision Notice conditions package was generated using Council's Brisbane Integrated Development System (BIDS) Development Conditions Manager (DCM) system. Since the date of the Negotiated Decision Notice, Council has changed the DCM system used to generate the approval conditions package. The new system is Development Application regulatory Tracking DART. Due to an incompatibility between the former DCM system and the current DART system, the numbering and format of conditions generated has changed from that in the Negotiated Decision Notice, however the body of the conditions themselves remain unchanged.
29. The approval of the Request approves plan 11-DA1011 which refers to detailed drawing no. 05B316 13-S2150 Issue A Dated 25/09/09. I note that drawing no. 05B316 13-S2150 includes detail of surface floor levels (noted as "S.F.L" on the drawing) that range between 4.65m and 5.6m AHD. These levels appear to be inconsistent with condition 59 of the development approval as set out in paragraph 27 above in that these levels are below both the 50 year (ARI) (6.6m AHD) local flood event or 100 year (ARI) (6.9m AHD) creek or river flood event as referred to in the condition.
30. I note that condition 59(a) and (c) required engineering plans and as constructed drawings to be submitted approved by a RPEQ. I have been unable to locate these plans and drawings in Council's records.

**Current request for a permissible change**

31. An application for a Request for a Permissible Change to a Development Approval under section 369 of the *Sustainable Planning Act 2009* was lodged by Brannock & Associates on behalf of Mirvac on 22 June 2011. The proposed changes include:
- (a) A new Multi Purpose Room #3 (MPR) under the podium;
  - (b) Expansion of Players Change Room and Level 1 Amenities;
  - (c) Link Under Podium to provide improved player circulation routes under the Stadium;
  - (d) New Toilet Facilities for coaches and staff;
  - (e) Reception Area Modification to increase office space on Level 2; and
  - (f) Consolidation of Maintenance Shed and Site Offices.

32. I have been involved in the assessment of this application.

Wit

33. This application is currently undergoing assessment by Council. However, during the course of this assessment, it has become clear to Council that the proposed changes and the existing facilities under the podium are not consistent with Condition 59 of the Development Approval as set out in paragraph 29 above.

34. As part of the assessment process, [REDACTED] Senior Urban, Planner Development Assessment South of Council emailed Brannock & Associates with the following:

*“It has come to our attention that the existing floor levels in the Tennis Centre do not comply with the Q50 and Q100 levels required in Condition 9 (Flooding Q50 and Q100) of the approval. As such, as part of the modification, we will need to modify condition 59. In order to change condition 59, we require a Flood Risk Management Assessment to be submitted to the satisfaction of the Principal Engineer and to be in accordance (sic) with Council’s Subdivision and Development Guidelines and AS 4360.*

*This Flood Risk Assessment is to incorporate the following:*

- *Identification of the stakeholders exposed to or affected by the risk of flooding.*
- *Identification of public and private property, social systems and environmental elements at risk of flooding.*
- *Estimation of flood risks ie the likelihood and consequences of flooding.*
- *Assessment of the acceptability of flood risk. This evaluation will involve the determination of the total flood damage (potential) for a range of annual exceedance probabilities (1%, 2%, 5%, 10%, 20%, 50%) and the average annual tangible and intangible damages.*
- *Warning times*
- *Evacuation procedures for both people and property in order to minimise impact of flooding and any audible warning devices*
- *Construction materials and techniques used in the development to minimise flood impact (ie use of flood tolerant materials)*
- *The proposed method of perpetuating the restricted use and conveying the risk management data to future owners and leaseholders.*
- *Updates to workplace health and safety procedures for occupants on the site.*



- *The procedures to conduct emergency evacuation and rescue operations.*

*The Flood Risk Management Assessment is a formal means of identifying and managing the existing, future and residual risks of flooding, both local and river. A suitably qualified professional consultant is to be engaged to undertake the risk management evaluation in accordance with the framework outlined in AS 4360 Risk Management."*

A copy of the email from [REDACTED] to Brannock & Associates dated 2 September 2011 is Attachment **RJK 44**.

35. This risk management approach is consistent with Council's Subdivision and Development Guidelines, and in particular section 4.2 of the Guidelines, for development that does not meet the prescribed flood immunity standard for Brisbane River.
36. Council is continuing to assess the application, and has made no decision in relation to the proposed changes to the development approval at this time.

I make this statement conscientiously believing the same to be true, and by virtue of the provisions of the Oaths Act 1867 (Qld).

**Dated 8 September 2011**

**Signed and declared** by Rory John Kelly at BRISBANE  
in the State of Queensland  
this 8th day of September 2011

Before me:

[REDACTED]  
Signature of person before whom the declaration is made

[REDACTED]  
Signature of declarant

[REDACTED]  
whom the declaration is made

SOLICITOR  
person before

**eda south - Tennyson QTC Amendment A003110102**

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**From:** [REDACTED]  
**To:** [REDACTED]  
**Date:** 2/09/2011 5:12 PM  
**Subject:** Tennyson QTC Amendment A003110102  
**CC:** Kelly, Rory

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Dear [REDACTED]

It has come to our attention that the existing floor levels in the Tennis Centre do not comply with the Q50 and Q100 levels required in Condition 9 (Flooding Q50 & Q100) of the approval. As such, as part of the modification, we will need to modify Condition 59. In order to change condition 59, we require a Flood Risk Management Assessment to be submitted to the satisfaction of the Principal Engineer and to be in accordance with Council's Subdivision and Development Guidelines and AS 4360.

This Flood Risk Assessment is to incorporate the following:

- Identification of the stakeholders exposed to or affected by the risk of flooding.
- Identification of public and private property, social systems and environmental elements at risk of flooding.
- Estimation of flood risks ie the likelihood and consequences of flooding.
- Assessment of the acceptability of flood risk. This evaluation will involve the determination of the total flood damage (potential) for a range of annual exceedance probabilities (1%, 2%, 5%, 10%, 20%, 50%), and the average annual tangible and intangible damages.
- Warning times
- Evacuation procedures for both people and property in order to minimise impact of flooding and any audible warning devices
- Construction materials and techniques used in the development to minimise flood impact (ie use of flood tolerant materials)
- The proposed method of perpetuating the restricted use and conveying the risk management data to future owners and leaseholders.
- Updates to workplace health and safety procedures for occupants on the site.
- The procedures to conduct emergency evacuation and rescue operations.

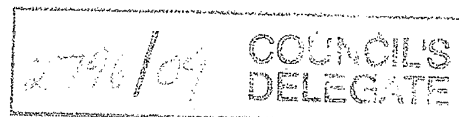
The Flood Risk Management Assessment is a formal means of identifying and managing the existing, future and residual risks of flooding, both local and river. A suitably qualified professional consultant is to be engaged to undertake the risk management evaluation in accordance with the framework outlined in AS 4360 Risk Management.

It is suggested that once this document is finalised it is submitted to Rory Kelly by email [REDACTED] and we will expedite our assessment of this document to ensure minimal delay in finalising the application. If in preparing this information changes are made to the proposal plans can you please submit these amended plans.

Regards,

[REDACTED]

Senior Urban Planner  
 Development Assessment South  
 City Planning and Sustainability  
 Brisbane City Council  
 [REDACTED] (Thursdays & Fridays)



## DECISION BY DELEGATE

SUBMISSION BY Shirley Shannon

### INTRODUCTION

<p><b>SITE:</b>  <b>Address of Site:</b>          27 Softstone St Tennyson Qld 4105          681 Fairfield Rd Yeerongpilly Qld 4105</p> <p><b>Real Property Description:</b>          Lot(s) 1 on Survey Plan 164685, Lot(s)          566 on Survey Plan 104107</p> <p><b>Area of Site:</b>          119042m<sup>2</sup></p> <p><b>Area Classification:</b>          Community Use CU8 – Utility          Installation</p> <p><b>Name of Owner:</b>          DEPARTMENT OF LOCAL          GOVERNMENT PLANNING SPORT          AND RECREATION; Department Of          Primary Industries - State</p> <p><b>Name of Ward:</b>          Tennyson</p> <p><b>Applicant:</b>          Mirvac Queensland Ltd          C/- Brannock &amp; Associates          PO Box 552          SPRING HILL QLD 4001</p> <p><b>Lodgement Date:</b>          13 August 2009</p>	<p><b>APPLICATION:</b>  <b>Aspects of development:</b></p> <p>Change to an Existing Approval under Section 3.5.24 and Change or          Cancel Conditions under Section 3.5.33 of the <i>Integrated Planning Act</i>          1997 with respect to development approval for:</p> <ul style="list-style-type: none"> <li>◦ Carry Out Operational Work - Development Permit - Tidal Work</li> <li>◦ Material Change of Use - Preliminary Approval under s3.1.5 -              Utility Installation</li> <li>◦ Material Change of Use - Preliminary Approval under s3.1.5 -              Outdoor Sport and Recreation and Multi-Unit Dwelling</li> <li>◦ Material Change of Use - Development Permit - Indoor Sport and              Recreation, Outdoor Sport and Recreation, Convention Centre,              Restaurant, Office and Shop</li> <li>◦ Material Change of Use - Preliminary Approval under s3.1.6 -              Multi-Unit Dwelling</li> <li>◦ Material Change of Use - Development Permit - Multi-Unit              Dwelling and Park</li> <li>◦ Material Change of Use - Development Permit - Restaurant, Multi-              Unit Dwelling and Shop</li> <li>◦ Material Change of Use - Development Permit - Indoor Sport and              Recreation</li> <li>◦ STAGE 1 Residential: Multi Unit Dwelling - Buildings E &amp; F, and              Park</li> <li>◦ STAGE 2 Residential: Multi Unit Dwelling - Building D, and              Shop/Restaurant (274.5m<sup>2</sup>)</li> <li>◦ Gymnasium Ancillary to Multi Unit Dwellings within the Tennyson              Riverside Development</li> <li>◦ Advice to developer for the Tennis Centre and all residential              buildings</li> <li>◦ Advice Disturbance to Marine Plants</li> <li>◦ Advice – Environmental Protection Agency – Contaminated Land</li> <li>◦ Advice – Queensland Transport and Translink</li> <li>◦ Advice – Energex</li> <li>◦ Advice – Powerlink</li> <li>◦ Advice – Department of Natural Resources, Mines and Water</li> <li>◦ Concurrence Advice Queensland Transport &amp; Translink</li> </ul> <p><b>Description/Purpose of Proposal:</b></p> <p>Indoor Sport &amp; Recreation, Outdoor Sport &amp; Recreation, Shop, Office,          Convention Centre, Restaurant (Café), Multi Unit Dwelling, Park,          Operational Work for Disturbance to Marine Plants</p> <p><i>Proposed modifications are specific to the Material Change of Use -          Indoor Sport and Recreation, Outdoor Sport and Recreation,          Convention Centre, Restaurant, Office and Shop</i></p> <p><b>Application No:</b>          A002381998 (previously 933802:DA)</p>
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## DECISION

Having considered the application detailed above, I am satisfied that the application accords with relevant standards and the *Integrated Planning Act 1997* where applicable and as such:


1. Approve the request to change the existing development approval under Section 3.5.24 and to change or cancel conditions under Section 3.5.33 of the *Integrated Planning Act 1997* subject to the attached amended Development Approval Package which includes reference to the previous drawings and documents;
2. Advise the Applicant of the Decision;
3. Advise the Referral Agencies of the Decision; and
4. Advise the Local Ward Councillor of the Decision.

Dated the

all

day of

October 2009

  
Regional Manager  
Development Assessment South BSQ  
Development Assessment Branch

## REPORT AND RECOMMENDATION ON DEVELOPMENT APPLICATION

SUBMISSION BY Shirley Shannon

05 October 2009

### INTRODUCTION

<p><b>SITE:</b>  <b>Address of Site:</b>          27 Softstone St Tennyson Qld 4105          681 Fairfield Rd Yeerongpilly Qld 4105</p> <p><b>Real Property Description:</b>          Lot(s) 1 on Survey Plan 164685, Lot(s)          566 on Survey Plan 104107</p> <p><b>Area of Site:</b>          119042m<sup>2</sup></p> <p><b>Area Classification:</b>          Community Use CU8 – Utility          Installation</p> <p><b>Name of Owner:</b>          DEPARTMENT OF LOCAL          GOVERNMENT PLANNING SPORT          AND RECREATION; Department Of          Primary Industries – State</p> <p><b>Name of Ward:</b>          Tennyson</p> <p><b>Applicant:</b>          Mirvac Queensland Ltd          C/- Brannock &amp; Associates          PO Box 552          SPRING HILL QLD 4001</p> <p><b>Lodgement Date:</b>          13 August 2009</p>	<p><b>APPLICATION:</b>  <b>Aspects of development:</b></p> <p>Change to an Existing Approval under Section 3.5.24 and Change or          Cancel Conditions under Section 3.5.33 of the <i>Integrated Planning Act</i>          1997 with respect to development approval for:</p> <ul style="list-style-type: none"> <li>◦ Carry Out Operational Work - Development Permit - Tidal Work</li> <li>◦ Material Change of Use - Preliminary Approval under s3.1.5 -              Utility Installation</li> <li>◦ Material Change of Use - Preliminary Approval under s3.1.5 -              Outdoor Sport and Recreation and Multi-Unit Dwelling</li> <li>◦ Material Change of Use - Development Permit - Indoor Sport and              Recreation, Outdoor Sport and Recreation, Convention Centre,              Restaurant, Office and Shop</li> <li>◦ Material Change of Use - Preliminary Approval under s3.1.6 -              Multi-Unit Dwelling</li> <li>◦ Material Change of Use - Development Permit - Multi-Unit              Dwelling and Park</li> <li>◦ Material Change of Use - Development Permit - Restaurant, Multi-              Unit Dwelling and Shop</li> <li>◦ Material Change of Use - Development Permit - Indoor Sport and              Recreation</li> <li>◦ STAGE 1 Residential: Multi Unit Dwelling - Buildings E &amp; F, and              Park</li> <li>◦ STAGE 2 Residential: Multi Unit Dwelling - Building D, and              Shop/Restaurant (274.5m<sup>2</sup>)</li> <li>◦ Gymnasium Ancillary to Multi Unit Dwellings within the Tennyson              Riverside Development</li> <li>◦ Advice to developer for the Tennis Centre and all residential              buildings</li> <li>◦ Advice Disturbance to Marine Plants</li> <li>◦ Advice – Environmental Protection Agency – Contaminated Land</li> <li>◦ Advice – Queensland Transport and Translink</li> <li>◦ Advice – Energex</li> <li>◦ Advice – Powerlink</li> <li>◦ Advice – Department of Natural Resources, Mines and Water</li> <li>◦ Concurrence Advice Queensland Transport &amp; Translink</li> </ul> <p><b>Description/Purpose of Proposal:</b></p> <p>Indoor Sport &amp; Recreation, Outdoor Sport &amp; Recreation, Shop, Office,          Convention Centre, Restaurant (Café), Multi Unit Dwelling, Park,          Operational Work for Disturbance to Marine Plants</p> <p><i>Proposed modifications are specific to the Material Change of Use -          Indoor Sport and Recreation, Outdoor Sport and Recreation,          Convention Centre, Restaurant, Office and Shop</i></p> <p><b>Application No:</b>          A002381998 (previously 933802:DA)</p>
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## BACKGROUND/HISTORY

Approval was issued in October 2006 for redevelopment of the site for the State Tennis Centre and Mirvac residential development. This approval included Indoor Sport & Recreation, Outdoor Sport & Recreation, Shop, Office, Convention Centre, Restaurant (Café), Multi Unit Dwelling, Park, Operational Work for Disturbance of Marine Plants.

Modifications to this approval have been granted in March 2007, July 2007, February 2008, September 2008 and June 2009 to make minor changes to the development plans and conditions.

## THE PROPOSAL & ISSUES

The proposal is a request for a Change to an Existing Approval under Section 3.5.24 and Change or Cancel Conditions under Section 3.5.33 of the *Integrated Planning Act 1997*. The proposed changes are limited to the Outdoor Sport and Recreation, Convention Centre, Restaurant, Office and Shop of the approval and are summarised as follows:

New Works	Additional floor area	Comment
<b>1. New Undercroft Multi Purpose Room (MPR)</b> Additional multi-purpose rooms under the existing podium adjacent to the existing multi-purpose room. Works will include both alterations to the existing eastern external wall (adjacent the clay courts) to facilitate access to the space and the relocation of mechanical plant and stormwater plumbing within the undercroft space. The MPR is proposed to provide clear span space (similar to the existing MPR) with ancillary toilet/washroom facilities. Secondary egress will also be provided by way of corridor exiting to the west of the room as shown on DA1011 rev D. The MPR will be utilised for playing training and development, along with the existing MPR.	407m <sup>2</sup> GFA	It is considered that there will be no negative impact as a result of this addition. The change will also improve the visual aspect of the eastern elevation.
<b>2. New Undercroft Storage Rooms – 118 m<sup>2</sup> + 126m<sup>2</sup></b> New store rooms abutting the southern wall under the existing podium. The rooms are proposed to store event equipment when not in use (such as nets, tables and chairs). This equipment is currently stored under the podium. They are proposed to be accessed by way of a new corridor to be constructed linking with the existing maintenance workshop.	244m <sup>2</sup>	The new store room is <b>under</b> the existing podium and will not be visually intrusive.
<b>3. New Store Room under stadium plats</b> The enclosure of an existing open space at podium level under the eastern façade of the stadium for storage	31m <sup>2</sup> GFA	The proposed enclosure is in keeping with the

purposes.		remainder of the development.
<p><b>4. New Podium Shade Structures on Western concourse</b></p> <p>New lightweight steel and fabric shade structures to shade large areas of the western podium concourse area which are affected by heat and the western sun. The primary purpose of these permanent structures is to provide shade to spectators, particularly in event mode. Structural support is proposed to be located on the podium (refer drawing DA1620 rev A) with shade fabric tensioned over curved rafters canti-levered over the podium concourse. Clearance of the structure is approximately 4.5 metres above the podium so as not to inhibit "bump in" during event mode.</p>	nil	The proposed shade structures are similar to those already approved on the site. The height of the shade structures are considered to be appropriate.
<p><b>5. New Café Shade Structure</b></p> <p>New Lightweight steel and waterproof membrane shade structure to area outside café. Currently this area is shaded by way of umbrellas fixed to the podium, which are limited in terms of weather protection.</p>	nil	The new café shade structure is designed to complement and integrate with the existing shade structures and stadium roof.
<p><b>6. New Spectator Seating and Shade to external courts</b></p> <p>Additional shade structures at the corners of the furthestmost external courts are proposed to provide spectator shade seating for these courts in day-to-day mode. Each shade structure is identical to that existing.</p>		The proposed shade structures are similar to those already approved on the site, and will provide additional shade to patrons.
<p><b>7. New BBQ Area</b></p> <p>A new BBQ area is proposed near the grassed hill area to allow patrons to utilise during/after tennis days and matches.</p>	nil	This is considered to be minor building work.
<p><b>8. New Materials Storage</b></p> <p>This minor structure will provide a delineated area for the storage of sand required for the maintenance of clay and grass courts.</p>	nil	This area is subject to flooding, however, this is considered to be minor building work.

In summary the above changes are within the definition of 'minor change' under the *Integrated Planning Act 1997* for the following reasons:

- (a) If the application was remade, it would not require additional concurrence agencies;
- (b) It would not cause development previously requiring only code assessment to require impact assessment as the original application was impact assessable; and
- (c) It would not cause a person to make a properly made submission if the application was readvertised.

These changes necessitate an amendment to Condition 31 and an update to plan references.

**Condition 31 currently reads as follows:**

*Permanent Shade Structures*

*The erection of permanent shade structures over the show courts are limited to the two courts immediately west of the Centre Court as illustrated on Drawing Number 11-DA1001 Rev A, dated November 07, 11-DA1002 Rev A, dated Nov 07, 11-DA1003 Rev A, dated Nov 07, 11-DA1005 Rev A, dated Nov 07, 11-DA1006 Rev A, dated Nov 07.*

**It is proposed to change Condition 31 as follows:**

*Permanent Shade Structures*

*The erection of permanent shade structures over the show courts are limited to the two courts immediately to the west of the Centre Court as illustrated on Drawing Number 11-DA1001 Rev B dated 5 August 2009, 11-DA1002 Rev B dated 5 August 2009, 11-DA1003 Rev B dated 5 August 2009, 11-DA1005 Rev B dated 5 August 2009, 11-DA1006 Rev B dated 5 August 2009. This limitation does not apply to minor shade structures that may be erected from time to time.*

In addition to the above change a new condition - Condition 41 has been added to reflect new Infrastructure Contributions Charges. The amount payable is currently assessed at \$46,165.60 (09/10).

## **THE INTEGRATED PLANNING ACT 1997**

The proposed amendments are considered to satisfy the provisions of s3.5.24 & s3.5.33 of the *Integrated Planning Act 1997*.

## **PLANNING SCHEME AND PLANNING SCHEME POLICIES**

The proposed modifications are to an existing application approved under the Brisbane City Plan 2000.



## ADVICE FROM REFERRAL AGENCIES

The proposed modification was referred to the following concurrence agencies:

- Department of Transport and Main Roads
- Department of Environment and Resource Management
  - Ecoaccess
  - Contaminated Land Unit
- Department of Primary Industries and Fisheries


Correspondence has been provided by each agency advising that there are no further requirements. Copies of these correspondence are attached to the modified development approval package.

## RECOMMENDATION

After considering the proposal, the relevant provisions of the *Integrated Planning Act 1997* and the *Planning Scheme*, I recommend that modifications be made to the approval in accordance with the attached amended approval package.



Shirley Shannon  
Senior Urban Planner, Development Assessment  
Development Assessment South BSQ

  
Development Assessment Branch



*Dedicated to a better Brisbane*

09 October 2009

Mirvac Queensland Pty Ltd  
C/-Brannock & Associates  
GPO Box 552  
BRISBANE QLD 4001

COPY OF IPA  
EXTRACT  
SENT WITH  
LETTER

COUNCIL DELEGATE  
DECISION MADE ON  
- 9 OCT 2009

Brisbane City Council

Development Assessment Branch  
City Planning and Sustainability Division  
GPO Box 1434  
Brisbane Qld 4001

Telephone 07 3403 8888

Sent to Scrutiny on

13/10/09 By: [REDACTED]

**Permit Type:** DA - Carry Out Operational Work, DA - Material Change of Use

**Description of Proposal:** Change to an Existing Approval under s3.5.24 and s3.5.33 of the *Integrated Planning Act 1997* with respect to development approval for:

- Material Change of Use - Preliminary Approval for Multi Unit Dwelling
- Material Change of Use - Development Permit for Indoor Sport and Recreation, Outdoor Sport and Recreation, Convention Centre, Restaurant, Office and Shop
- Material Change of Use - Development Permit for STAGE 1 Residential: Multi Unit Dwelling - Buildings E & F, and Park
- Material Change of Use - Development Permit - for STAGE 2 - Residential: Multi - Unit Dwelling - Building D, and Shop/ Restaurant (274.5m2)
- Carrying Out Operational Work - Development Permit for Tidal Work (Disturbance to Marine Plants)

**Address of Site:** 27 Softstone St Tennyson Qld 4105, 81 Fairfield Rd Yeerongpilly Qld 4105

**Real Property Description:** Lot(s) 1 on Survey Plan 164685, Lot(s) 566 on Survey Plan 104107

**Application Reference:** A002381998 (previously 933802:DA)

Dear Sir/Madam

**RE: Request to change or cancel conditions under Section 3.5.33 of the *Integrated Planning Act 1997* and Request to change Development Approval under Section 3.5.24 of the *Integrated Planning Act 1997*.**

Your request to change or cancel conditions to the above Development Application has been approved by the Council's Delegate.

Please find enclosed the new approval package applicable to this Development Approval. The previously issued package should now be disregarded.

Please phone me on the telephone number below during normal business hours if you have any queries regarding this matter.

Yours sincerely

[REDACTED]  
Shirley Shannon  
Senior Urban Planner, Development Assessment  
Development Assessment South BSQ  
[REDACTED]  
Development Assessment Branch



## BRISBANE CITY COUNCIL'S APPROVAL PACKAGE

## APPLICATION DETAILS

This package relates to the application detailed below

<b>Address of Site:</b>	27 SOFTSTONE ST TENNYSON QLD 4105 681 FAIRFIELD RD YEERONGPILLY QLD 4105
<b>Real Property Description of Site:</b>	L1 SP.164685 L566 SP.104107
<b>Aspects of development and type of approval:</b>	DA - Carry Out Operational Work Development Permit - Tidal Work DA - Material Change of Use Preliminary Approval under s3.1.5 - Utility Installation DA - Material Change of Use Preliminary Approval under s3.1.5 - Utility Installation DA - Material Change of Use Preliminary Approval under s3.1.5 - Utility Installation DA - Material Change of Use Preliminary Approval under s3.1.5 - Outdoor Sport and Recreation, Multi-Unit Dwelling DA - Material Change of Use Preliminary Approval under s3.1.5 - DA - Material Change of Use Preliminary Approval under s3.1.5 - DA - Material Change of Use Development Permit - Indoor Sport and Recreation, Shop, Office, Outdoor Sport and Recreation, Convention Centre, Restaurant DA - Material Change of Use Preliminary Approval under s3.1.6 - Multi-Unit Dwelling DA - Material Change of Use Preliminary Approval under s3.1.5 - DA - Material Change of Use Development Permit - Multi-Unit Dwelling, Park DA - Material Change of Use Development Permit - Restaurant, Multi-Unit Dwelling, Shop DA - Material Change of Use Development Permit - Indoor Sport and Recreation
<b>Council File Reference:</b>	A002381998 Permit Reference Number/s: DAOW167575907; DAMC167576007; DAMC167576107; DAMC167576207; DAMC167576307; DAMC167576407; DAMC167576507; DAMC167576607; DAMC167576707; DAMC167576807; DAMC167576907; DAMC167577007; DAMC204986708.
<b>Package Status:</b>	APPROVED - Version 9 (9th of October, 2009 4:48:20 PM)
<b>Package Generated:</b>	12/10/2009

## PROJECT TEAM

The assessment of this application has been undertaken by:

Rory KELLY Regional Manager Development Assessment South BSQ	[REDACTED] Engineering Officer, Development Assessment Development Assessment South [REDACTED]	Paul HILLS Principal Engineering Officer, Development Assessment Development Assessment South BSQ
[REDACTED] Principal Urban Planner, Development Assessment Development Assessment South BSQ	Shirley SHANNON Senior Urban Planner, Development Assessment Development Assessment South BSQ	Mario FURLAN Architect, Development Assessment Development Assessment South BSQ

**DRAWINGS AND DOCUMENTS**

The term 'drawings and documents' or similar expressions mean:

Drawing or Document	Number	Plan Date
Development Approval Building, F - Cover Sheet	31-DA0000 Rev. I	27-MAR-2009
Development Approval General Arrangement Plan Building F - Level 1	31-DA1011 Rev.G	13-MAR-2009
Development Approval General Arrangement Plan Building F - Level 02-06	31-DA1012 Rev. G	13-MAR-2009
Development Approval General Arrangement Plan Building F - Level 07-08	31-DA1017 Rev. F	13-MAR-2009
Development Approval General Arrangement Plan Building F - Level 09	31-DA1019 Rev.G	13-MAR-2009
Development Approval General Arrangement Plan Building D, E and F Basement 1 - Part A	30-DA1007 Rev J	18-MAR-2009
Development Approval General Arrangement Plan Building D, E and F Basement 1 - Part B	30-DA1008 Rev J	18-MAR-2009
Development Approval General Arrangement Plan Building D, E and F Basement 2 - Part A	30-DA1009 Rev J	19-MAR-2009
Development Approval General Arrangement Plan Building D, E and F Basement 2 - Part B	30-DA1010 Rev J	19-MAR-2009
Development Approval Elevation Sheet Building F - Roof Plan	31-DA1025 Rev. F	13-MAR-2009
Development Approval Balcony Screen Plans Building F	31-DA1030 Rev.D	23-MAR-2009
Development Approval Balcony Screen Elevations Building F - Sheet 1 of 2	31-DA1040 Rev C	23-MAR-2009
Development Approval Balcony Screen Elevations Building F	31-DA1041 Rev. D	23-MAR-2009
Development Approval Elevation Sheet 1 Building F	31-DA1600 Rev.G	23-MAR-2009
Development Approval Elevation Sheet 2 with Section Building F	31-DA1601 Rev G	23-MAR-2009
Development Approval Building E - Cover Sheet	41-DA0000 Rev. G	27-MAR-2009
Development Approval General Arrangement Plan Building E - Level 01	41-DA1011 Rev.F	13-MAR-2009
Development Approval General Arrangement Plan Building E - Level 02-07	41-DA1012 Rev.E	19-MAR-2009
Development Approval General Arrangement Plan Building E - Level 8	41-DA1018 Rev.E	19-MAR-2009
Development Approval General		

Arrangement Plan Building E - Level 09	41-DA1019 Rev. E	19-MAR-2009
Development Approval General Arrangement Plan Building E - Level 10	41-DA1020 Rev.G	13-MAR-2009
Development Approval Balcony Screen Plans Building E	41-DA1030 Rev.E	23-MAR-2009
Development Approval Elevations Sheet 1 & Section Building E	41-DA1600 Rev.G	24-MAR-2009
Development Approval Elevations Sheet 2 Building E	41-DA1601 Rev F	24-MAR-2009
Development Approval Balcony Screen Elevations Building E - Sheet 2 of 2	41-DA1041 Rev D	24-MAR-2009
Development Approval Balcony Screen Elevations Building E - Sheet 1 of 2	41-DA1040 Rev E	24-MAR-2009
Building 01 Elevations Gymnasium	01DA1600REV G	05-MAR-2007
Bulding 01 Lower Level Plan Gymnasium/Waste Management	01-DA1010REV C	05-JUN-2008
Building 01 Site Plan with Landscaping	01-DA1000REV B	05-JUN-2008
Building 01 Upper Level Floor Level Gymnasium	01-DA1011REV I	05-MAR-2007
Queensland Tennis Centre - General Arrangement Plan Level 1	11-DA1011 Rev D (Amended In Red 05-OCT-2009)	05-AUG-2009
Queensland Tennis Centre - Floor Plan - Level 2	11-DA1012 Rev D	05-AUG-2009
Level 1 General Arrangement Plan	05B316 13-S2150 Issue A	25-SEP-2009
Building F Site Plan	31-DA0001 REV F (Amended In Red 07-NOV-2007)	19-SEP-2007
Section 1 - Before & After - Building F	31-DA1610 REV A	31-MAR-2006
Section 2 - Before & After - Building F	31-DA1611 REV A	31-MAR-2006
Building E - Site Plan	41-DA0001 REV F (Amended In Red 07-NOV-2007)	19-SEP-2007
General Arrangement Plan - Building E - Roof Plan	41-DA1025 REV D	23-MAR-2009
Section 3 - Before & After - Building E	41-DA1610 REV A	31-MAR-2006
Master Plan	00-DA0001 REV I	20-SEP-2007
Building Envelope Plan	00-DA0002 REV D	31-MAR-2006
Building Envelope Elevations	00-DA0003 REV G	01-DEC-2006
Staging Plan	00-DA0004 REV D	25-JUL-2006
Site Elevations - Buildings A-F	00-DA1600 REV G	08-AUG-2007
Site Masterplan	M-SP-RP-DA REV H (Amended In Red 07-NOV-2007)	01-JUL-2006
Gross Floor Area Calcs L09 Building D	51-DA1050 Rev A	30-JUL-2007
Gross Floor Area Calcs L10 Building D	51-DA1051 Revision A	30-JUL-2007
Gross Floor Area Calcs L11 Building D	51-DA1052 Revision A	30-JUL-2007

Elevation Sheet 1 Bulding D	51-DA1600 Revision F	25-JUL-2007
Perspective View Mass Bulding D	51-DA1602 Rev B	25-JUL-2007
Section 4 Before and After Bulding D	51-DA1610 Revision B	12-SEP-2007
SK 1(a)	SK1(a)	01-MAR-2006
Detail Cross Sections Through Access Road	00-SK0049 Revision B	13-SEP-2006
Landscape Masterplan	Landscape Masterplan (Amended In Red 19-SEP-2006)	01-JUL-2006
Pedestrian and Bicycle Pathways	M-SP-RP-DA Revision H (Amended In Red 19-SEP-2006)	01-JUL-2006
North Elevation	A-EL-01-DA Revision H	01-JUL-2006
South Elevation	A-EL-02-DA Revision H	01-JUL-2006
West Elevation	A-EL-03-DA Revision H	01-JUL-2006
East Elevation	A-EL-04-DA Revision H	01-JUL-2006
Roof Plan	A-RP-03-DA Revision H	01-JUL-2006
Roof Plan 04	A-GA-L05(0-001 Revision L	01-NOV-2006
Section A-A	A-SC-A-DA Revision H	01-JUL-2006
Section B-B	A-SC-BDA Revision H	01-JUL-2006
Section A-A	A-SE-000(0-001 Revision N	01-DEC-2006
Section B-B	A-SE-000(0-002 Revision N	01-DEC-2006
West Elevation	A-EE-WES(0-001 Revision M	01-DEC-2006
South Elevation	A-EE-SOU(0-001 Revision M	01-DEC-2006
North Elevation	A-EE-NOR(0-001 Revision M	01-DEC-2006
East Elevation	A-EE-EAS(0-001 Revision M	01-DEC-2006
Floor Plan 4	A-FP-04-DA Revision H	01-JUL-2006
Floor Plan 3 Non Event Mode	A-FP-03_NON-EVENT-DA Revision H	01-JUL-2006
Riverside Park Promenade	L-2038-A1L-205 (Amended In Red 04-OCT-2006)	20-SEP-2006
General Arrangement Plan - Building F - Lvl 02-06	31-DA1012 REV F	01-DEC-2006
Balcony Screen Elevations - Building E - Sheet 2 of 2	41-DA1041 REV B	01-DEC-2006
Buildings D, E & F - Cover Sheet	30-DA0000 REV I	07-AUG-2007
Building D, E & F - Site Plan	30-DA0001 REV G (Amended In Red 07-NOV-2007)	20-SEP-2007
General Arrangement Plan - Building D, E & F - Basement 1	30-DA1005 REV I (Amended In Red 07-NOV-2007)	01-NOV-2006
General Arrangement Plan - Building D, E & F - Basement 2	30-DA1006 REV H	01-NOV-2006
Gross Floor Area Calcs - Building D, E & F - Basement 2	30-DA1012 REV A	10-AUG-2007
Gross Floor Area Calcs - Building D, E & F - Basement 1	30-DA1011 REV B	01-SEP-2007
Tennyson Reach Northern Elevation as viewed from Brisbane River	DA-01	09-NOV-2007
Bulding D - Site Plan	51-DA0001 Revision G	20-SEP-2007
Bulding D Level 01	51-DA1011 Revision H	26-JUL-2007
Bulding D Level 02	51-DA1012 Revision G	26-JUL-2007
Bulding D Level 03	51-DA1013 Revision G	26-JUL-2007

Bulding D Level 04	51-DA1014 Revision G	26-JUL-2007
Bulding D Level 05	51-DA1015 Revision D	26-JUL-2007
Bulding D Level 06	51-DA1016 Revision D	26-JUL-2007
Bulding D Level 07	51-DA1017 Revision G	26-JUL-2007
Bulding D Level 08	51-DA1018 Revision G	26-JUL-2007
Bulding D Level 09	51-DA1019 Revision G	26-JUL-2007
Bulding D Level 10	51-DA1020 Revision I	26-JUL-2007
Bulding D Level 11	51-DA1021 Revision F	26-JUL-2007
Bulding D Roof Plan	51-DA1025 Revision G	26-JUL-2007
Balcony Screen Plans Bulding D	51-DA1030 Revision C	26-JUL-2007
Balcony Screen Plans Bulding D	51-DA1031 Revision C	08-JUN-2007
Balcony Screen Elevations Bulding D	51-DA1040 Revision D	26-JUL-2007
Balcony Screen Elevations Bulding D	51-DA1041 Revision D	26-JUL-2007
Gross Floor Area Calcs L01 Bulding D	51-DA1042 Revision F	30-JUL-2007
Gross Floor Area Calcs L02 Bulding D	51-DA1043 Revision A	30-JUL-2007
Gross Floor Area Calcs L03 Bulding D	51-DA1044 Revision A	03-AUG-2007
Gross Floor Area Calcs L04	51-DA1045 Revision A	12-JUL-2007
Gross Floor Area Calcs L05 Bulding D	51-DA1046 Revision A	08-MAR-2007
Gross Floor Area Calcs L07 Bulding D Revision A	51-DA1048 Revision A	19-SEP-2007
Gross Floor Area Calcs L08 Bulding D	51-DA1049 Revision A	12-SEP-2007
Master Plan Concourse Level	M-SP-FP02-DA Rev H	01-JUL-2006
Bulding D Cover Sheet	51-DA0000 Rev F	20-SEP-2007
Gross Floor Area Calcs L06 Bulding D	51-DA1047 Rev A	30-JUL-2007
Bulding D - Bulding Location Plan	51-DA1060 Rev E	24-OCT-2007
Elevation Sheet 2 Bulding D	51-DA1601 Rev F	25-JUL-2007
Elevations Sheet 1 Building D	51 DA1600 rev F	17-SEP-2007
State Tennis Centre - General Arrangement Plan Lvl 3	11-DA1007 Rev A	30-NOV-2007
Queensland Tennis Centre - Section AA	11-DA1006 Rev B	05-AUG-2009
Queensland Tennis Centre - West Elevations	11-DA1005 Rev B	05-AUG-2009
Queensland Tennis Centre - East Elevations	11-DA1004 Rev B	05-AUG-2009
Queensland Tennis Centre - South Elevations	11-DA1003 Rev B	05-AUG-2009
Queensland Tennis Centre - North Elevations	11-DA1002 Rev B	05-AUG-2009
Queensland Tennis Centre - Master Site Plan	11-DA1001 Rev B	05-AUG-2009

Advice

Please see the attached document(s) for any advices.



## APPROVAL CONDITIONS

Permit to Which These Conditions Relate:	DA - Carry Out Operational Work
Activity(ies):	Tidal Work
Stage:	DPI Concurrence Advice

## General/Planning Requirements

	Timing
<b>1) Concurrence Agency Advice</b>  Brisbane City Council advises that the Department of Primary Industries and Fisheries as a Concurrence Agency has imposed the conditions contained in the letter stated 02/05/2006 Reference No. 05-00555/NAM/140/004(339). For any enquiries concerning these conditions, contact [REDACTED] or [REDACTED]	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Utility Installation
Stage:	Advice Agency - Energex Ltd

**Standard Advice**

	Timing
<b>2) Referral Agency Advice</b>  Brisbane City Council advise that Energex Ltd as advice agency has supplied advice regarding easements contained in the letter dated 14/08/2006, Reference No. 710/52/12 L0800. For any enquiries about this advice contact [REDACTED] or [REDACTED]	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Utility Installation
Stage:	Advice Agency - Powerlink

**Standard Advice**

	Timing
<b>3) Referral Agency Advice</b> Brisbane City Council advise that Powerlink Queensland as advice agency has supplied advice contained in the letter dated 22/08/2006, Reference No. Mirvac-Tennys DA. For any enquiries about this advice contact [REDACTED] on ([REDACTED]).	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Utility Installation
Stage:	Advice Agency Dept of Natural Resources Mines & Water

**General/Planning Requirements**

	Timing
<b>4) Referral Agency Advice</b>  Brisbane City Council advise that the Department of Natural Resources, Mines and Water as advice agency has supplied advice contained in the letter dated 27/04/2006, Reference No.IR1205IPS0002. For any enquiries about this advice contact Andrew Macpherson on [REDACTED] or [REDACTED]	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Outdoor Sport and Recreation Multi-Unit Dwelling
Stage:	Advice to developer for the Tennis Centre and all residential buildings

**General/Planning Requirements**

	Timing
<b>5) Construction Traffic</b> The preferred location for the parking of contractor/construction vehicles or the storage of construction materials associated with the erection of Residential Buildings A, B and C, is on the Department of Primary Industry site to the east of the Fairfield Rd/Softstone Street roundabout connector road subject to earthworks (proposed cut) as shown on Plan B04254-SK61 dated 22 February 2006.	As indicated

**Pollution**

	Timing
<b>6) Emergency Generator</b> This approval does not include fuel burning for emergency generators.  <i>GUIDELINE</i> The condition is imposed to prevent environmental harm or nuisance from fuel burning.	To be maintained

**Standard Advice**

	Timing
<b>7) ERA Approval</b>  All development involving an Environmentally Relevant Activity as defined by the Environmental Protection Regulation 1998 requires that an application for a material change of use for an environmentally relevant activity be submitted to the administering authority (Environmental Protection Agency or Brisbane City Council), in accordance with the Environment Protection Act 1994 and the Integrated Planning Act 1997.  Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.	As indicated
<b>8) Entertainment Venues and Events</b>	As indicated

<p>All development where the public are invited or permitted to be present involving amusements or entertainments including football, function room, theatres, games etc are required to hold or obtain a current Entertainment Venue &amp; Event Licence pursuant to the Local Law (Entertainment Venues &amp; Events)1999.</p> <p>Licences can be obtained from Brisbane City Council-Licensing &amp; Compliance. To obtain a Licence Information Kit contact the call centre on 3403 8888.</p> <p>Prior to building works plans and specifications are to be lodged for approval to the Brisbane City Council's Licensing and Compliance Section of Customer and Community Services.</p> <p><b>Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.</b></p>	
<p><b>9) Flammable and Combustible Liquids</b></p> <p>The <i>Dangerous Goods Safety Management Regulation 2001</i> requires that occupiers of premises storing flammable and combustible liquids hold a licence. Licences are required for all storage greater than minor storage quantities. Minor storage limits are detailed in <i>Australian Standard AS1940 - The Storage and Handling of Flammable and Combustible Liquids</i>.</p> <p>It is the occupier's responsibility to obtain the required licence prior to commencement of the activity. Occupiers can be fined up to \$1500 for failing to hold a current licence.</p> <p>Licences can be obtained from Brisbane City Council-Licensing &amp; Compliance. To obtain a <i>Licence Information Kit</i> contact the call centre on 3403 8888.</p> <p>Plans and specifications must be lodged for approval by Council's Licensing &amp; Compliance Section prior to building works commencing. Please note that building approvals do not include approval for storing flammable and combustible liquids. Council recommends that occupiers submit licence applications prior to obtaining building approvals. Otherwise, subsequent building modifications may be required to satisfy licence requirements. These can be expensive and will cause delays.</p> <p><b>Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.</b></p>	<p>As indicated</p>

<p><b>10) Food Hygiene</b></p> <p>All development involving the preparation, packing, storing, handling, serving, selling or carrying of food requires that its design, installation and operation be approved pursuant to the Food Hygiene Regulations of 1989. The premises is required to be registered and the operator is to hold a licence with Brisbane City Council to operate the business under the above regulations.</p> <p>Licences can be obtained from Brisbane City Council-Licensing &amp; Compliance. To obtain a Licence Information Kit contact the call centre on 3403 8888.</p> <p>Prior to building works plans and specifications are to be lodged for approval to Licensing and Compliance.</p> <p><b>Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.</b></p>	<p>As indicated</p>
<p><b>11) Contaminated Land</b></p> <p>Pursuant to the Environmental Protection Act 1994 Part 8 - Contaminated Land-</p> <p><b>371(1)</b> If the owner or occupier of land becomes aware a notifiable activity is being carried out on the land, the owner or occupier must, within 22 business days after becoming aware the activity is being carried out, give notice to the administering authority in the approved form.</p> <p>The administering authority for contaminated land matters is the Environmental Protection Agency.</p> <p><b>Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.</b></p>	<p>As indicated</p>
<p><b>12) Trade Waste Approval</b></p> <p>The discharge of waste liquids to the sewerage system must be conducted in accordance with the conditions of a Trade Waste Approval.</p>	<p>As indicated</p>

<p>Permits can be obtained from Brisbane City Council's Trade Waste Section. For further information on permits please contact the call centre on 3403 8888.</p> <p>Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.</p>	
<p><b>13) Asbestos Removal</b> Disposal, handling, removal and restoration of any building materials containing asbestos being in accordance with the Workplace Health and Safety Regulations 1989.</p>	As indicated
<p><b>14) Noise and Dust Emissions - Advice Only</b></p> <p>All development involving the emission of noise and dust from building/construction activities requires that the emission be in accordance with the requirements of the Environmental Protection Regulation 1998 Part 2A - Environmental Nuisance.</p> <p>Pursuant to the Environmental Protection Regulation 1998 Part 2A - Environmental Nuisance -</p> <p><b>6W.</b> A builder or building contractor must not carry out building work on a building site in a way that makes or causes audible noise to be made from the building work-</p> <ul style="list-style-type: none"> <li>a. on a Sunday or public holiday, at any time; or</li> <li>b. on a Saturday or business day, before 6.30 a.m. or after 6.30 p.m.</li> </ul> <p>Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.</p>	As indicated
<p><b>15) Dangerous Goods - Aust. (ADG CODE)</b> All materials listed as dangerous goods under "The Australian Code For The Transport Of Dangerous Goods By Road and Rail" (ADG Code) must be stored and handled on site in accordance with the relevant Australian Standard which applies to the Dangerous Goods Class of the material.</p> <p><i>GUIDELINE</i> This condition is imposed to ensure adequate safety standards are maintained where dangerous.</p>	To be maintained
<p><b>16) Flammable and Combustible - Storage</b> All flammable and combustible liquids must be stored and handled in accordance with the Dangerous Goods Safety</p>	To be maintained



Management Act 2001.

*GUIDELINE*

*This condition is imposed to ensure adequate safety standards are maintained where Class 3 dangerous goods (Flammable and Combustible Liquids) are stored.*

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	
Stage:	Disturbance to Marine Plants

**General/Planning Requirements**

	Timing
<b>17) Concurrence Agency Conditions</b> Brisbane City Council advise that the Department of Primary Industries and Fisheries as concurrence agency has imposed the conditions contained in the letter dated 02/05/2006 Reference No 05-00555/NAM/140/004(339). For any enquiries concerning these conditions contact [REDACTED] or [REDACTED]	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	
Stage:	Environmental Protection Agency- Contaminated Land

**General/Planning Requirements**

	Timing
<b>18) Concurrence Agency Conditions</b> Brisbane City Council advise that the Environmental Protection Agency as concurrence agency has imposed the conditions contained in the letter dated 12/06/2006 reference No App'n:929 Part 1 File No: BNE2841. For any enquiries concerning these conditions contact [REDACTED]	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Indoor Sport and Recreation Outdoor Sport and Recreation Convention Centre Restaurant Office Shop
Stage:	Indoor Sport & Recreation (Tennis Centre Stadium), Outdoor Sport & Recreation (Outdoor courts), Convention Centre (Function Rooms) & ancillary uses including Office, Restaurant and Shop

**General/Planning Requirements**

	Timing
<p><b>19) Remove Existing Buildings And Maintain Site</b></p> <p>Prior to building work for the approved building commencing on the site, undertake the following works:</p> <ol style="list-style-type: none"> <li>Remove existing buildings and structures from the site;</li> <li>Cap all services to the building and stabilise the exposed ground surface; and</li> <li>Where buildings are demolished, and for whatever reason redevelopment is delayed for more than three (3) months, the following works are carried out: <ol style="list-style-type: none"> <li>Site is cleared of all rubble, debris and demolition materials;</li> <li>Site is levelled and mulched;</li> <li>Site is landscaped with perimeter planting consisting of advanced specimens of fast growing species in accordance with the Planting Species Planning Scheme Policy;</li> <li>Drainage is provided to prevent ponding;</li> <li>Site is maintained so there is no sediment running onto adjacent premises, roads, footpaths or parkland; and</li> <li>Site is maintained to ensure no nuisance to adjacent premises, roads, footpaths or parkland.</li> </ol> </li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all the structures that are not to be retained and reused on the site are removed and relocated appropriately to ensure that no future legacy remains for the ultimate property owners. It should also be noted that the removal of structures includes the removal of all existing concrete slabs and foundations.footings .</i></p>	As indicated
<p><b>20) Information Sign</b></p> <p>Prior to any works commencing on the site and then to be maintained until completion of the development, erect an "Information Sign" as outlined below:</p> <ol style="list-style-type: none"> <li>A brief description of the development proposed;</li> <li>The sign/s are to list the name, postal and/or email address and a contact telephone number for the following parties (where relevant) that are undertaking work on the site: <ol style="list-style-type: none"> <li>Developer;</li> <li>Project Coordinator;</li> </ol> </li> </ol>	As indicated

- iii. Architect/Building Designer;
- iv. Builder;
- v. Civil Engineer;
- vi. Civil Contractor/s; and
- vii. Landscape Architect;

c) The lettering on the sign is to be at least 25 millimetres in height, be of regular weight and in sentence case;

d) The sign is to be a minimum size of 1,200 millimetres by 900 millimetres;

e) The maximum area of the sign is to be 2.0m<sup>2</sup>;

f) The sign must be placed on or within 1.5 metres of the road frontage for the land and mounted at least 300 millimetres above ground level;

g) The sign must be placed on all road frontages;

h) The sign is to contain no commercial or corporate advertising other than the name, logo or slogan of the parties outlined in part (b) of this condition;

i) The sign is to be non-illuminated;

j) Both the sign and the supporting structure are to be made of weatherproof material and to be properly maintained at all times;

k) The sign/s are to be located on the subject property and is to comply with the General Requirements for Signage contained within the Local Laws Policy "Control of Outdoor Advertising" specifically with regard to Traffic Safety, Clearances and Structural Systems; and

l) Prior to the erection of the sign, lodge a copy of the wording and proposed dimensions of the "Information Sign" with Council.

#### GUIDELINE

*This condition is imposed to provide information regarding the development and project team. Where signage is carried out in accordance with Permitted Advertisement provisions contained within the Local Law Policy "Control of Outdoor Advertising" the display of the sign is exempt from the payment of fees, the need for a licence or the making of an application.*

#### 21) PLANS/DOCUMENTS FOR CONSULTANTS/CONTRACTORS

As indicated

Provide a copy of the Brisbane City Council approval package including the development approval conditions, approved plans & documents and the Decision Notice to the following and as indicated(where applicable):

- a. all consultants preparing or lodging applications for "Operational Works";
- b. all consultants preparing or lodging applications to satisfy conditions requiring compliance assessment under Schedule 12 of the *Integrated Planning Regulation 1998*;
- c. all consultants preparing or lodging applications for "Carrying Out Building Works"; and
- d. all contractors carrying out site works or building works associated with or resulting from this Development Permit.

<p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that all consultants, contractors and Building Certifiers involved with completing the development are aware of the particular requirements of this site.</i></p>	
<p><b>22) EXTERNAL DETAILS</b></p> <p>Prior to issuing the relevant Development Permit for Building Works for the State Tennis Centre above ground works, submit to the satisfaction of the Principal Lead Planner, Development Assessment Team South, the following plans and details showing the facade treatments and external materials (including undercroft treatments) colours and finishes:</p> <ol style="list-style-type: none"> <li>A colour scheme showing materials and finishes to the stadium and administration buildings fronting the access road in accordance with the materials details noted on the approved plan(s) &amp; drawing (s);</li> <li>Notwithstanding the requirements in the conditions and any notations on the approved plans and drawings, the materials and finishes of the stadium and administration building must be high quality pre-finished materials and included with details required to be submitted by this condition;</li> <li>The schedule is to be submitted as a sample board including materials and actual paint swatches of the proposed external paint colours and accompanied by coloured elevations and a written tabulation of how particular parts of the structure and ancillary finishes are to be finished;</li> <li>Implement the above-approved detailed design treatments.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the colours and materials used are appropriate for the intended character and image for the surrounding area. The requirement is intended to avoid a built form and street character that is dominated by glass surfaces, that increases local affects from reflectivity, glare and heat.</i></p>	<p>As indicated</p>
<p><b>23) PRE START MEETING</b></p> <p>Prior to site/building works commencing for each stage, undertake an on-site Pre Start meeting Co-ordinate the attendance of the relevant development/ building/ arborist/ site consultants and contractors with the following Brisbane City Council Officers or their nominated representatives:</p> <ul style="list-style-type: none"> <li>Principal Engineer, Development Assessment Team South, Development Assessment</li> <li>Landscape Architect, Development Assessment Team South, Development Assessment</li> <li>Principal Lead Planner, Development Assessment Team South, Development Assessment</li> </ul> <p><b>23(a) PRE START MEETING</b></p> <p>This meeting is requested to discuss relevant site/building/operational work requirements for each stage, including but not limited to:</p> <ul style="list-style-type: none"> <li>Contamination</li> <li>Landscape Management and Site Works Plan (riverside walkway, parkland and private land)</li> </ul>	<p>As indicated</p> <p>As indicated</p>

<ul style="list-style-type: none"> <li>◦ Sustainable development features</li> <li>◦ Special Vegetation Management Plan</li> <li>◦ Streetscape Works Plan</li> <li>◦ Construction Management Plan</li> <li>◦ Event Management Plan</li> <li>◦ Construction parking</li> <li>◦ Road &amp; Footpath Closure Permits and other additional permits</li> <li>◦ Public &amp; Workplace Safety</li> <li>◦ Maintenance of a pedestrian and cyclist thoroughfare through the site</li> <li>◦ Compliance with Council's Erosion and Sediment Control Guidelines relating to earthworks on a construction site</li> <li>◦ Tree protection measures</li> <li>◦ Relocation of existing services</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area. Please telephone 3403 8888 to arrange a suitable meeting time.</i></p>	
<p><b>24) COPY OF PLANS ON SITE</b></p> <p>A legible copy of the approved drawings and documents bearing "Council Approval" and the Development Approval Conditions package is to be available on site at all times during construction and earthworks.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure compliance with the development conditions of approval. The copy of the conditions and plans should be located in any site management office or with the site foreman. Any copies of conditions or plans that are illegible shall be deemed to be non compliance with this condition of approval.</i></p>	<p>As indicated</p>
<p><b>25) CARRY OUT THE APPROVED DEVELOPMENT</b></p> <p>Carry out the approved development generally in accordance with the approved drawings and documents.</p> <p><b>GUIDELINE</b>  <i>This condition refers to the approved plans, drawings and documents to which the approval relates and is the primary means of defining the extent of the approval. Approved plans, drawings and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of approval of the application by Council's Delegate.</i></p>	<p>While development is occurring on the site and then to be maintained</p>
<p><b>26) SUPPLY/INSTALL ARTWORKS</b></p> <p>Supply, install and maintain on the site artworks (including but not necessarily limited to, sculptures, ceramic works, mosaics and wall reliefs) by a recognised artist or crafts person. Where these art works or part there of, are located on land to be dedicated to Council, undertake the following:</p> <ul style="list-style-type: none"> <li>a. Plan for artworks or sculptures that meet the following criteria:             <ul style="list-style-type: none"> <li>I. Be suitable for the setting in terms of design, choice of materials, durability and resistance to vandalism; and,</li> <li>II. Be satisfactory to the owner/developer of the subject site and the</li> </ul> </li> </ul>	<p>Prior to commencement of use</p>

<p>Delegate, Development Assessment;</p> <p>b. Install the endorsed artworks or sculptures.</p> <p><b>GUIDELINE</b>  <i>This condition recognises the importance of the proposed development and is intended to ensure that artwork is included to enhance the Tennis Centre.</i></p>	
<p><b>27) COMPLETE ALL BUILDING WORK</b></p> <p>Complete all building work associated with this development approval, including work required by any of the following conditions. Such building work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents and, where the building work is assessable development, in accordance with a current development permit.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all building work associated with the use is in place before the use commences. It is not appropriate that the site be used without such work being completed. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you there fore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	<p>Prior to commencement of use</p>
<p><b>28) COMPLETE ALL OPERATIONAL WORK</b></p> <p>Complete all operational work associated with this development approval, including work required by any of the following conditions. Such operational work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents or, if requiring a further approval from the Council, in accordance with the relevant approval(s).</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all operational works associated with the use are completed before the use commences. It is not appropriate that the site be used without such work being completed in accordance with any detailed design approvals. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you there fore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	<p>Prior to commencement of use</p>
<p><b>29) MAINTAIN THE APPROVED DEVELOPMENT</b></p> <p>Maintain the approved development (including landscaping, parking, driveways and other external spaces) in accordance with the approved drawing(s) and/or documents, and any relevant Council engineering or other approval required by the conditions.</p> <p><b>GUIDELINE</b>  <i>This condition restricts changes that can be made to the approved development. Approved plans and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the</i></p>	<p>To be maintained</p>



<p><i>date of determination of the application by the Council's delegate. The extent to which plans can be modified is constrained by the definition of 'minor change' in schedule 10 and the requirements of section 3.5.24 of the "Integrated Planning Act 1997". It will be necessary to make a new application if the change is not a minor change. For any enquires about this condition, please contact the Assessment Manager.</i></p>	
<p><b>30) PUBLIC ACCESS - 24 HRS THROUGH SITE</b></p> <p>Provide and maintain unimpeded and safe 24-hour public access through the designated public pedestrian spaces, including pedestrian footpaths, bicycle paths, and public plaza areas, and ensuring that access ways are designed to cater for disabled persons in accordance with "Australian Standard AS1428.1".</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure on-going safe public access to designated public pedestrian spaces within the development.</i></p>	To be maintained
<p><b>31) PERMANENT SHADE STRUCTURES</b></p> <p>The erection of permanent shade structures over the show courts are limited to the two courts immediately to the west of the Centre Court as illustrated on Drawing Number 11-DA1001 Rev B dated 5 August 2009, 11-DA1002 Rev B dated 5 August 2009, 11-DA1003 Rev B dated 5 August 2009, 11-DA1005 Rev B dated 5 August 2009, 11-DA1006 Rev B dated 5 August 2009. This limitation does not apply to minor shade structures that may be erected from time to time.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to limit the erection of permanent shade structures to the two show courts immediately west of the Centre Court</i></p>	As indicated
<p><b>32) EXPIRATION OF RELEVANT PERIOD</b></p> <p>All aspects of development as outlined within this section, to which the conditions relate in the "Development Approval Package", are to be completed before midnight on 30 November 2010.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed pursuant to 3.5.21A(2)(a) of the Integrated Planning Act 1997. The intent of this condition is to specify the particular time assessable development or an aspect of assessable development is to be completed before the development lapses. Any extension of the period stated in the condition is required to be made in accordance with Sections 3.5.22 and 3.5.33 of the Integrated Planning Act.</i></p>	As indicated
<p><b>33) ANCILLARY USES</b></p> <p>The area of the building nominated on the approved plans of layout for Restaurant, Convention Centre (function rooms), Office and Shop uses are to remain ancillary to the use of the site as a Tennis Centre.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to clarify the proposed use of the site.</i></p>	At all times

<b>34) BICYCLE PARKING</b>		Prior to the commencement of the use and then to be maintained													
<p>Install and maintain secure bicycle parking and associated support facilities for employees and visitors to the Tennis Centre and bicycle parking facilities for visitors to the Tennyson Riverside Parkland consistent with the approved plans and documents, and generally in accordance with Chapter 10 of "Austroads Part 14 - Bicycles".</p> <p><b>GUIDELINE</b> <i>This condition is imposed because bicycle parking and associated facilities are required to provide convenient facilities for cyclists and safe storage of bicycles to encourage cycling as an alternative for car commuting and also cater for short term requirements such as couriers bicycle facilities.</i></p>															
<b>35) LIGHTING TO PUBLIC AREAS</b>		Prior to the commencement of the use and then to be maintained													
<p>Install and maintain a suitable system of lighting, to operate from dusk to dawn, within all areas where the public will be given access.</p> <p><b>GUIDELINE</b> <i>This condition is imposed to ensure on-going safe public access to designated public pedestrian spaces within the development</i></p>															
<b>36) SUSTAINABILITY</b>		Prior to the commencement of the use and then to be maintained													
<p>Incorporate and maintain the following sustainable components within the Tennis Centre:</p> <table><tr><td rowspan="6">Tennis Centre and ancillary uses</td><td>Basin &amp; Sink Taps</td><td><ul style="list-style-type: none"><li>• 4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</li><li>• No 'insinkers' are to be installed</li></ul></td></tr><tr><td>Toilets</td><td><ul style="list-style-type: none"><li>• 4-Star rated dual flush</li></ul></td></tr><tr><td>Irrigation system</td><td><ul style="list-style-type: none"><li>• Subsurface or microjet spray/dripper system and controlled using soil moisture sensors</li><li>• Programmable irrigation controller with rain sensor</li><li>• Sub water meters on irrigation supply line</li></ul></td></tr><tr><td>Outdoor taps</td><td><ul style="list-style-type: none"><li>• Trigger nozzles on all outdoor hoses</li><li>• 3-Star rated flow regulating devices installed in pipework upstream of all outdoor taps</li></ul></td></tr><tr><td>Water harvesting tank</td><td><ul style="list-style-type: none"><li>• Water harvesting storage tank (s)</li><li>• Water harvesting tank plumbed into irrigation system</li><li>• Water harvesting tank plumbed into car / bin washing area</li></ul></td></tr><tr><td>Showers</td><td>3-Star rated showerhead</td></tr></table>		Tennis Centre and ancillary uses	Basin & Sink Taps	<ul style="list-style-type: none"><li>• 4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</li><li>• No 'insinkers' are to be installed</li></ul>	Toilets	<ul style="list-style-type: none"><li>• 4-Star rated dual flush</li></ul>	Irrigation system	<ul style="list-style-type: none"><li>• Subsurface or microjet spray/dripper system and controlled using soil moisture sensors</li><li>• Programmable irrigation controller with rain sensor</li><li>• Sub water meters on irrigation supply line</li></ul>	Outdoor taps	<ul style="list-style-type: none"><li>• Trigger nozzles on all outdoor hoses</li><li>• 3-Star rated flow regulating devices installed in pipework upstream of all outdoor taps</li></ul>	Water harvesting tank	<ul style="list-style-type: none"><li>• Water harvesting storage tank (s)</li><li>• Water harvesting tank plumbed into irrigation system</li><li>• Water harvesting tank plumbed into car / bin washing area</li></ul>	Showers	3-Star rated showerhead	
Tennis Centre and ancillary uses	Basin & Sink Taps		<ul style="list-style-type: none"><li>• 4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</li><li>• No 'insinkers' are to be installed</li></ul>												
	Toilets		<ul style="list-style-type: none"><li>• 4-Star rated dual flush</li></ul>												
	Irrigation system		<ul style="list-style-type: none"><li>• Subsurface or microjet spray/dripper system and controlled using soil moisture sensors</li><li>• Programmable irrigation controller with rain sensor</li><li>• Sub water meters on irrigation supply line</li></ul>												
	Outdoor taps		<ul style="list-style-type: none"><li>• Trigger nozzles on all outdoor hoses</li><li>• 3-Star rated flow regulating devices installed in pipework upstream of all outdoor taps</li></ul>												
	Water harvesting tank		<ul style="list-style-type: none"><li>• Water harvesting storage tank (s)</li><li>• Water harvesting tank plumbed into irrigation system</li><li>• Water harvesting tank plumbed into car / bin washing area</li></ul>												
	Showers	3-Star rated showerhead													

	Clothes washer	4-Star rated laundry washing machine
	Dishwasher (Other than for commercial use)	4-Star rated dishwasher
<p><b>GUIDELINE</b> This condition is imposed to ensure that the development is sustainable in terms of careful and efficient use of water utilising current best practice.</p>		
<p><b>37) EVENT TRANSPORT MANAGEMENT PLAN</b> <b>Prepare an Event Transport Management Plan</b></p> <p>Submit for approval of the Principal Lead Planner as Delegate of Council, Development Assessment Team South, an Event Management Traffic Control Plan (EMTCP) for all events staged within the Tennis Stadium in accordance with the Guidelines and Policies of the Brisbane City Plan 2000 and the following details, where applicable, for the three event modes of the approved development.</p> <p>The EMTCP is to acknowledge the restrictions detailed in the NOTES following the numbered items:</p> <ul style="list-style-type: none"> <li>i. Provision of alternative pedestrian/cyclist routes through and around the site;</li> <li>ii. Existing and proposed kerbside allocation signs and linemarking such as bus stops, loading zones and parking meters;</li> <li>iii. Temporary vehicular access points;</li> <li>iv. Temporary public transport and taxi access points</li> <li>v. Employee and visitor parking areas;</li> <li>vi. How goods/ food stuffs etc are to be loaded/unloaded;</li> <li>vii. Location of any remote loading areas;</li> <li>viii. Temporary toilets and amenities;</li> <li>ix. Community Consultation strategy including notification to adjoining residents and property owners;</li> <li>x. Anticipated programming including duration and start and finish times; and</li> <li>xi. Emergency management including access location and evacuation plan;</li> <li>xii. Any police permits require/sought.</li> </ul> <p><b>GUIDELINE</b> This condition is imposed to manage the impacts of all events undertaken within the main tennis stadium. In preparing the Event Management Traffic Control Plan consultation is to occur with the Brisbane City Council Road Closure Officer, Brisbane Transport Bus Coordinator and a representative from Translink.</p>		<p>Prior to the commencement of the use and then to be maintained</p>

#### Monetary Contributions and Securities

	Timing
<p><b>38) PAY OUTSTANDING CHARGES OR EXPENSES</b> Pay to Council any outstanding charges or expenses levied by the Council over the subject land.</p> <p><b>GUIDELINE</b> This condition is imposed to ensure that there are no outstanding charges</p>	<p>Prior to commencement of use</p>

existing over the subject site, including outstanding rates. If there are outstanding monies, they must be paid prior to commencement of the use.

### 39) SEWERAGE: PER ET (EQUIVALENT TENEMENT)

Pay to Council a monetary contribution towards the cost of sewerage headworks, as outlined below, **at the rate prevailing when the contribution is paid. This payment must be made prior to the issue of a plumbing compliance permit for the site.**

The contribution is calculated on 87.7 ETs (Equivalent Tenement) at the current rate of \$4,494.00 per ET, for Sewerage Scheme Charge Area - S2 - MLBN01. A credit for the existing use on the site has been included in this calculation.

The amount payable is currently assessed at \$394,123.80 and comprises of the following:

- Treatment Headworks component:	\$132,777.80
- System Headworks component:	\$261,346.00
- Total contribution:	\$394,123.80

This headwork charge is the **current rate for the 2006/2007 financial year.**

#### GUIDELINE

*This condition is imposed to require the payment of a proportional contribution towards a satisfactory sewerage treatment system within the locality of the site. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.*

Prior to the commencement of the use or prior to the endorsement of a Community Management Statement, whichever is sooner

### 40) WATER SUPPLY: PER ET (EQUIVALENT TENEMENT)

Pay to Council a monetary contribution towards the cost of water headworks, as outlined below, **at the rate prevailing when the contribution is paid. This payment must be made prior to the issue of a plumbing compliance permit for the site.**

The contribution is calculated on 87.7 ETs (Equivalent Tenement) at the current rate of \$4,729.00 per ET, for Water System Infrastructure Charges Plan Area - Mt Crosby South W9. A credit for the existing use on the site has been included in this calculation.

The amount payable is currently assessed at \$414,733.30 and comprises of the following:

- Treatment Headworks component:	\$82,438.00
- Distribution Headworks component:	\$332,295.30

Prior to the permanent water/sewer connection being made to the site or prior to endorsement of a community management statement, whichever is sooner

- Total contribution: \$414,733.30

This headwork charge is the current rate for the 2006/2007 financial year.

**GUIDELINE**

*This condition is imposed to require the payment of a proportional contribution towards a satisfactory water supply treatment system to the site. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.*

**41) Infrastructure Contributions Planning Scheme Policies (MCU - Infill - Lodged Prior 1 July, 2007 & Approved Post 1 July, 2007)**

As indicated

Pay to Council a monetary contribution towards the cost of providing infrastructure using the methodology and at the rate specified in the Infrastructure Contributions Planning Scheme Policies for the Contribution Area at the time when payment is made. The following table is a summary of the current Infrastructure Charges Units (ICUs) payable:-

Infrastructure Type	Contribution Area / Precinct	Value in Infrastructure Contribution Units (ICUs)		
		Contribution	Credits	Net Contribution
Transport	12	1,072 ICUs	0 ICUs	1,072 ICUs
Community Purposes	85	0 ICUs	0 ICUs	0 ICUs
Water Supply	Mt Crosby South	11,900 ICUs	0 ICUs	11,900 ICUs
Sewerage	MLBN01	12,118 ICUs	0 ICUs	12,118 ICUs
Waterways	16 BBnePrec3	0 ICUs	0 ICUs	0 ICUs
Totals		25,090 ICUs	0 ICUs	25,090 ICUs

Credits where applicable have been included in the ICU calculations.

The value of an ICU is specified in the Fees and Charges Schedule and is adjusted each financial year. In the 2009/2010 financial year, the value of an ICU is \$1.84.

The amount payable is currently assessed at \$46,165.60 (09/10).

**Timing**

- Where the application also involves a Preliminary Approval to Carry Out Building Work, the monetary contributions for water supply and sewerage are to be paid prior to the issue of the Final Plumbing Certificate. All other monetary contributions are to be paid prior to the commencement of use.
- Where the application only involves a Permit for a Material Change of Use, all monetary contributions are to be paid prior to the commencement of use.

**GUIDELINE**

*This condition is imposed to obtain contribution(s) towards the provision of adequate infrastructure for transport, community purposes, water supply, sewerage and waterways. For enquiries about this condition, please contact the Delegate, Development Assessment.*

**PROOF OF FULFILMENT**

*The monetary payment based on the value of an ICU at the time of payment is received and receipted by Council before the time set out for payment.*

**41(a) Subsidy Advice - Infrastructure Contributions Planning Scheme Policies (MCU - Infill - Lodged Prior 1 July, 2007 & Approved Post 1 July, 2007)**

As indicated

**INFRASTRUCTURE CONTRIBUTIONS SUBSIDY**

You will be entitled to an infrastructure contributions subsidy in accordance with Council's "Infrastructure Contributions Subsidy Administrative Policy" provided that

- this approval takes effect and
- the applicable infrastructure contributions are paid prior to 30 June in the financial year following the financial year in which the development approval takes effect.

The following table summarises the subsidy to be applied to the applicable full infrastructure contributions as calculated at the time of payment.

Infrastructure Contribution Type	Subsidy to be applied (%)	Contribution (%)
Water Supply	0	100
Sewerage	0	100
Community Purposes	0	100
Transport	100	0
Waterways	100	0

BEFORE YOU PROPOSE TO PAY INFRASTRUCTURE CONTRIBUTIONS, YOU MUST request an itemised breakdown showing the applicable infrastructure contributions, the subsidy (if any) to be applied and the contributions to be paid.

This request must be made in writing on the REQUEST FOR ITEMISED BREAKDOWN OF INFRASTRUCTURE CONTRIBUTIONS FORM to the Team Leader, Plan Sealing Unit, Development Assessment Branch or by email to [plan\\_sealing@brisbane.qld.gov.au](mailto:plan_sealing@brisbane.qld.gov.au) in sufficient time so that payment can be made no later than 30 June. Council aims to provide a response to your request within 10 business days.

To receive any subsidy you MUST present the itemised breakdown at the time of payment.

#### GUIDELINE

*This advice indicates that you may be entitled to a subsidy for Infrastructure Contributions in accordance with Council's Infrastructure Contributions Subsidy Administrative Policy.*

### Architecture

Architecture	Timing
<p><b>42) LIGHT REFLECTIVITY &amp; SOLAR (HEAT) REFLECTIVITY</b></p> <p>Install a lighting system to the underside of the proposed awning over the footpath in accordance with the following:</p> <p>a) Provides lighting to public footpaths covered by permanent awnings to a minimum of 20 lux (horizontal plane) at footpath level;</p> <p>b) The lighting system meets the requirement of the City Plan 2000;</p> <p>c) The lighting system adequately illuminates any pedestrian way covered</p>	<p>Prior to the commencement of the use and then to be maintained</p>

<p>by the subject awning from dusk until dawn; and</p> <p>d) Is to be maintained by the owner of the building in a safe and good working order.</p> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that pedestrians can move safely in front of the site. For any enquiries about this condition, please contact the City Lighting Unit, Local Asset Services Central District (Ph: 3403 0307).</i></p>	
<p><b>43) LIGHT REFLECTIVITY &amp; SOLAR (HEAT) REFLECTIVITY</b>  Submit to the Delegate, Development Assessment documentary evidence that; The level of light reflectivity from the approved development will not exceed 20 percent; and</p> <p><b>43(a) LIGHT REFLECTIVITY &amp; SOLAR (HEAT) REFLECTIVITY</b>  The level of solar (heat) reflectivity from the approved development will not exceed 20 percent.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to protect the amenity and appearance of the surrounding area from adverse impacts such as heat transmission and light reflectivity arising from the use of excessively reflective glass in building facades and large expanses of reflective roofing material.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p>
<p><b>44) SCREENING TO EXT. AIR CON. OR MECHANICAL PLANT</b></p> <p>Provide screening for any externally mounted airconditioning or mechanical plant installations in accordance with the following requirements:</p> <ol style="list-style-type: none"> <li>No unscreened installations on the proposed development are to be visible from the surrounding sites; and</li> <li>Any installations which are required to be located on roof, wall or garden areas are to be appropriately screened or shaped according to the acoustic requirements of this development package and consistent with materials used elsewhere on the facade of the building so as to integrate in a complementary manner with the overall design of the roof, wall or garden area in which the installation is to be located.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure appropriate visual outcomes in relation to mechanical plant areas. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>45) DISABLED ACCESS</b></p> <p>Construct external pedestrian circulation walkways from the street frontage entry to each front door of the development in accordance with AS 1428.1, Parts 1 - 4 <i>Australian Standard for Access and Mobility</i> with particular regard to:</p> <ol style="list-style-type: none"> <li>Ramping requirements (including gradients and slip resistance);</li> <li>Handrail requirements;</li> <li>Visual impairment requirements for changes in gradient; and</li> <li>Tactile tiling in a visually contrasting colour to both sides of the</li> </ol>	<p>Prior to the commencement of the use and then to be maintained</p>

<p>driveway crossover.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure external access areas are appropriately designed and constructed for all users. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i></p>	
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### Landscape Architecture and Open Space Planning

	Timing
<p><b>46) DETAILED PLAN-COMMERCIAL</b>          Prepare and landscape the site in accordance with a Landscape Management, Site Works and Planting Plan.</p> <p>Submit and receive approval by the Delegate, Development Assessment for a detailed Landscape Plan for all on-site landscape works relevant to this component of the development identified on the approved plans of layout. The plan is to be prepared at a scale of 1:100 by a suitably qualified and experienced Landscape Architect, and must comply with the "Brisbane City Plan 2000- Landscaping Code". The plan should include the following:</p> <p>i) Siteworks:</p> <ul style="list-style-type: none"> <li>• Pavement finishes are to be chosen in accordance with the types specified in the Centres Detailed Design Manual or to the satisfaction of the Landscape Architect Development Assessment South;</li> <li>• Access and mobility in accordance with AS1428.1;</li> <li>• Identification, protection and retention of the existing vegetation;</li> <li>• The extent of soft and hard landscape works;</li> <li>• Existing and proposed finished levels to external works particularly in critical areas (eg. top and toe of retaining walls, steps and adjoining boundaries);</li> <li>• Extent of basement and roof lines;</li> <li>• Description/detail of critical design elements where applicable (eg. stabilisation of batters, retaining walls, podium planters, trees in car park areas, fences etc.);</li> <li>• pedestrian lights;</li> <li>• <b>Where artworks are proposed, provide locations and full details;</b></li> <li>• Location of the underground services;</li> <li>• Location of any pad-mounted electricity transformers;</li> <li>• Furniture to enhance comfort and amenity;</li> <li>• Free standing shade structures;</li> <li>• Balustrade, planter boxes and any other structures;</li> <li>• Hazard tactile pavers at driveways and non-signalised kerb ramps in accordance with AS1428.4.</li> </ul> <p>ii) Planting:</p> <ul style="list-style-type: none"> <li>• A planting schedule listing proposed plants by botanical names, numbers, spacing and size at time of planting;</li> <li>• Tiered planting consisting of trees, shrubs and groundcovers to residential boundaries;</li> <li>• Shade trees, low shrubs and groundcovers to all other landscape areas on the site;</li> <li>• Shade trees throughout the car park area at a ratio of 1 tree per 6 car spaces or part thereof; and</li> <li>• Screen planting to utility spaces.</li> <li>• Planting of low maintenance species</li> <li>• Basic specification notes for soil preparation and planting,</li> </ul>	<p>Prior to commencement of site works</p>



<ul style="list-style-type: none"> <li>including mulching and soil type both existing and imported; and</li> <li>o Roofwater collection device locations;</li> <li>o Provision of a reticulated irrigation system to all landscape areas within the development with connection to a non-mains water supply point.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when there is a landscape component to a High Level development application, and Council requires more details of the proposed landscape works.</i></p> <p><b>46(a) DETAILED PLAN-COMMERCIAL</b></p> <p>Carry out the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice.</p> <p><b>46(b) DETAILED PLAN-COMMERCIAL</b></p> <p>Advise Council upon completion of the landscape works by completing the development details and Part B of the Compliance Certificate-Landscaping.</p>	<p>Prior to commencement of site works</p> <p>Prior to commencement of site works</p>
<p><b>47) STREETScape WORKS</b></p> <p>Provide streetscape works in accordance with the following: Submit a 'Streetscape Works Plan' for detailed design approval of the Landscape Architect, Development Assessment, for required works to be undertaken within the new road footpath reserve. The works are to be constructed to a standard and of materials consistent with Council's Subdivision and Development Guidelines, City Plan 2000 and an approved 'Streetscape Works Plan'. The plans are to include but not be restricted to the following:</p> <p>I - Pavement finishes in accordance with the 'Centres Detail Design Manual' and to the satisfaction of the Landscape Architect Development Assessment South;</p> <p>II - minimum 2m wide pedestrian footpath to the southern side of the proposed new road extension from the Fairfield Rd intersection and to the Softstone Street intersection as indicated on the approved plans of layout;</p> <p>III - street trees in tree grates with tree guards to hardstand areas and central plaza, integrated in the proposed pavement pattern;</p> <p>IV - street trees to centre medians and road verge in accordance with Council's Subdivision and Development Guidelines;</p> <p>V - street tree species are to be specified to the satisfaction of the Landscape Architect Development Assessment South;</p> <p>VI - streetscape planting of low maintenance species;</p> <p>VII - pedestrian lights;</p> <p>VIII - specifications, contours and levels for any proposed bikeways, footpaths, roadways and parking in the proposed open space;</p> <p>IX - a Plant Schedule itemising all proposed plants by botanical name and specifying total plant numbers and size at the time of planting.</p>	<p>Prior to commencement of operational works/building works</p>

X - all furniture to be supplied in accordance with Council's preferred supply list or to the satisfaction of the Landscape Architect Development Assessment South;

XI - location of the underground services;

XII - street furniture to enhance footpath comfort and amenity;

XIII - free standing shade structures;

XIV - all finished surface levels;

XV - balustrade, planter boxes and any other structures; and

XVI - hazard tactile pavers at driveways and non-signalised kerb ramps in accordance with AS1428.4;

#### GUIDELINE

*This condition is imposed to ensure that the external spaces are developed in a way that enhances the subject proposal and contributes positively to the streetscape character and overall image and quality of public spaces throughout the City. Streetscape works are to be carried out in accordance with the approved plans and workmanship is to be of acceptable standards and maintained accordingly. The Centres Detail Design Manual is available for purchase at all Council Customer Service Centres. The final locations and number of items of street furniture is to be determined by the Landscape Architect, Development Assessment. For any enquiries about this condition, please contact the Landscape Architect, Development Assessment. The plan (minimum 8 copies), together with the appropriate fee, should be lodged at the Library & Customer Services Counter, Floor 1, Brisbane Square. Refer to Appendix F of the Centres Detail Design Manual.*

#### 47(a) STREETSCAPE WORKS

Details of a costing and maintenance program, including the following:

- Costing of all works indicated on the Landscape Management and Site Works Plan; and
- Details of a 12-month maintenance plan for all proposed landscaping, including staging of works and time schedules, methods of establishment and projected ongoing maintenance costs.

Prior to commencement of operational works/building works

#### 47(b) STREETSCAPE WORKS

Obtain all necessary approvals for the satisfactory construction of these works.

Prior to commencement of operational works/building works

#### 47(c) STREETSCAPE WORKS

Carry out the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice.

Prior to commencement of operational works/building works

#### 47(d) STREETSCAPE WORKS

Upon completion of the landscape works advise Compliance Team South to organise an "on maintenance" inspection.

Prior to commencement of operational works/building works

**Pollution**

	Timing
<b>48) PA SYSTEM</b>  (i) The Public Address System must be designed to meet a noise limit of 50 dB(A) L Amax adj at the proposed residential units as per recommendations of the acoustic report prepared by Palmer Acoustics Pty Ltd dated November 2005.  (ii) Submit certification from an appropriately qualified consultant that an appropriate Public Address System has been installed which achieves the above criteria.  <i>GUIDELINE</i> <i>This condition is imposed to minimise noise impacts on adjoining residential uses.</i>	To be maintained
<b>49) Plant and Equipment Certification</b>  Following the installation of all mechanical plant and equipment, submit certification to the Team Leader - Licensing and Compliance that the plant and equipment is adequately noise-attenuated in accordance with Brisbane City Council's Noise Impact Assessment Planning Scheme Policy.  <i>GUIDELINE</i> <i>This condition has been imposed to ensure that plant and equipment noise is appropriately attenuated for residential receptors.</i>	Prior to commencement of use
<b>50) DAMPENING OF GRILLS AND METAL PLATES</b>  Any metal grills, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.  <i>GUIDELINE</i> <i>This condition is imposed to ensure that noise vehicle movements do not cause environmental nuisance.</i>	Prior to the commencement of the use and then to be maintained
<b>51) TRAFFIC AREAS - CLEANED</b>  All sealed traffic areas must be cleaned as necessary to prevent emissions of particulate matter.  <i>GUIDELINE</i> <i>The condition is imposed to prevent particulate emissions from traffic areas.</i>	To be maintained

**Engineering**

	Timing
<b>52) ON-SITE EROSION</b> Minimise on-site erosion and the release of sediment or	Prior to site works commencing (ie. any land-disturbing

<p>sediment-laden stormwater from the site at all times through compliance with an approved Erosion and Sediment Control (ESC) Program for the site.</p> <p>Submit an Erosion and Sediment Control (ESC) Program which complies with Council's Erosion and Sediment Control Standard (Version 9 or later), and receive approval from the Engineering Delegate, Development Assessment, prior to the commencement of land-disturbing activities;</p> <p><b>GUIDELINE</b>  <i>This condition is imposed where the land-disturbing development (as defined in the current version of Council's Erosion and Sediment Control Standard) involves site works that could lead to significant erosion and loss of sediment from the site. The ESC Program must be prepared in accordance with Council's Erosion and Sediment Control Standard (Version 9 or later), and may include detailed plans, descriptions of control measures, monitoring programs and maintenance procedures. Please note that the work referred to in this condition involves operational work and therefore requires an operational works application to be submitted. Relevant guidelines to assist in the preparation of ESC Programs include the: "Soil Erosion and Sediment Control - Engineering Guidelines for Queensland Construction Sites" The Institute of Engineers, Australia (Qld), 1996 (or later version); "Sediment Basin Design Guidelines", Brisbane City Council, February 2000 (or later version); and "Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites" and accompanying fact sheets, Brisbane City Council and Gold Coast City Council, 2000 (or later version). NB. The ESC Program may form part of a Site Based Stormwater Management Plan (that addresses short and long-term stormwater management from a quality and quantity perspective) or an Environmental Management Plan (EMP). For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p> <p><b>52(a) ON-SITE EROSION</b></p> <p>Implement and modify as necessary the approved ESC Program to maintain compliance with the Erosion and Sediment Control Standard (Version 9 or later) at all times during the period from when land-disturbing activities begin to when responsibility for the site no longer lies with the applicant.</p>	<p>development)</p> <p>Prior to site works commencing (ie. any land-disturbing development)</p>
<p><b>53) CONSTRUCTION MANAGEMENT PLAN</b></p> <p><b>Construction Management Plan</b></p> <p>(a.) Carry out the approved development during the construction phase generally in accordance with the approved Construction Management Plan (CMP) for the State Tennis Centre. The CMP includes, but is not limited to, the following:</p> <ul style="list-style-type: none"> <li>i. Provision of alternative pedestrian routes, past or around the site;</li> <li>ii. Existing and proposed kerbside allocation signs and line marking such as bus stops, loading zones and parking meters;</li> </ul>	<p>Prior to lodging an application for Building Works</p>

- iii. Temporary vehicular access points;
- iv. Employee and visitor parking areas;
- v. How materials are to be loaded/unloaded;
- vi. Location of any remote loading areas;
- vii. Location of materials, structures, plant and equipment to be stored or placed on the construction site;
- viii. Anticipated staging, programming;
- ix. BCC approved hours of construction as outlined in part (b) of this condition.

NOTE: Approval for on street work zones will only be considered where it can be demonstrated that no reasonable alternative can be provided due to site constraints and that traffic and public transport capacity and operations are not compromised.

The hours of construction are to be limited to the following, unless prior agreement is obtained in writing by the Regional Manager, Development Assessment Team South:

(b.) The works will be scheduled to be undertaken on a normal day shift between the hours of:

Monday to Thursday 6:30am - 6:30pm;

Friday 6:30am - 6:30pm;

Saturday 6:30am - 6:30pm; and

Sunday 7:30am - 4:00pm

Activities proposed for Sunday works will be minimised to critical trades and Mirvac will incorporate measures to minimise potential noise issues (such as machinery "beepers" to be switched off via a site specific safety plan that involves special inductions, limits to a single trade in the area and a designated 'spotter' for safety). The following scope is generally proposed for Sunday works:

- i. 25 persons maximum with an average of 10-20 persons;

- ii. Access via Softstone Street until Fairfield Road site access opens (is trafficable);
- iii. No deliveries of materials etc. - only access for employee vehicles; and
- iv. Trades undertaken will be generally limited to civil and court contractors.

It is envisaged that service cutover works or work areas that need to remain operational (for example works close to Electrical Easements) and commissioning will need to occur in "out of hours" or quiet time to suit local authorities operations. These out of hour works will be coordinated via Mirvac in a timely manner.

In the event of a potential disruptive activity (falling outside the daily construction activities) be likely to affect the amenity of surrounding residents, a written notification shall be distributed to the residents. The notice shall provide a description of the works, the time and date the works will commence and be completed and any special implications or restraints that may affect the surrounding residents. The contact details of a Mirvac person responsible for the works will also be included.

(c.) Obtain relevant permits from the Engineering Delegate, Development Assessment, to carry out any works within the road reserve required by the approved Construction Management Plan.

The Construction Management Plan may require modification, with Council approval, to reflect relevant legislation, traffic and public transport capacity and operations as well as industry best practice prevailing at the time of the permit application and throughout the construction activities.

(d.) Implement and maintain the approved Construction Management Plan for the duration of construction activities on site.

#### GUIDELINE

*This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area. This condition is intended to apply throughout the period of site preparation to the completion of the development.*

*Surrounding residents include the occupants of residential dwellings located as follows:*

<ul style="list-style-type: none"> <li>◦ Paragon Street</li> <li>◦ Ortive Street</li> <li>◦ 99 - 155 King Arthur Terrace</li> <li>◦ 4 - 6 Softstone Street</li> <li>◦ Dexter Street</li> <li>◦ Myla Terrace</li> <li>◦ David Street</li> </ul> <p><b>53(a) CONSTRUCTION MANAGEMENT PLAN</b></p> <p>Obtain relevant permits from the Engineering Delegate, Development Assessment, to carry out any works within the road reserve required by the approved Construction Management Plan.</p> <p>The Construction Management Plan may require modification, with Council approval, to reflect relevant legislation, traffic and public transport capacity and operations as well as industry best practice prevailing at the time of the permit application and throughout the construction activities.</p> <p><b>53(b) CONSTRUCTION MANAGEMENT PLAN</b></p> <p>Implement and maintain the approved Construction Management Plan for the duration of construction activities on site.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area., This condition is intended to apply throughout the period of site preparation to the completion of the development.</i></p>	<p>Prior to lodging an application for Building Works</p> <p>Prior to lodging an application for Building Works</p>
<p><b>54) CUTTING/FILLING</b></p> <p>Undertake the works on the site in accordance with an Earthworks Plan approved by the Engineering Delegate, Development Assessment.</p> <p>Submit an earthworks plan (and obtain approval from the Engineering Delegate, Development Assessment), prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" demonstrating how the development will comply with this requirement and the following:</p> <ul style="list-style-type: none"> <li>◦ The location of any cut and/or fill;</li> <li>◦ The quantity of fill to be deposited and finished fill levels;</li> <li>◦ Maintenance of access roads to and from the site such that they remain free of all fill material and are cleaned as necessary;</li> <li>◦ The existing and proposed finished levels (extending into the adjacent properties);</li> <li>◦ Preservation of all drainage structures from the effects of structural</li> </ul>	<p>Prior to site works/building works commencing</p>

<ul style="list-style-type: none"> <li>loading generated by the earthworks;</li> <li>Protection of adjoining properties and roads from ponding or nuisance from stormwater;</li> <li>That all vehicles exiting from the site will be cleaned and treated so as to prevent material being tracked or deposited on public roads.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed for applications when significant earthworks are proposed in conjunction with a development proposal. Site Based Stormwater Management Plans (that address short and long term stormwater management from a quality and quantity perspective) may be part of Environmental Management Plans (EMPs) and include ESC Programs/Management Plans. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p> <p><b>54(a) CUTTING/FILLING</b></p> <p>All fill material placed on the site is to be free of contaminants (as defined by section 11 of the Environmental Protection Act 1994), noxious, hazardous, deleterious and organic materials.</p> <p>Suitable fill material is deemed to comply with the requirements of clause 4.3, AS 3798, Guidelines on Earthworks for Commercial and Residential Developments.</p> <p><b>54(b) CUTTING/FILLING</b></p> <p>Prepare the following details for presentation to the Council's Engineering Delegate at a pre-start meeting arranged by the consultant supervising the contractor:</p> <ul style="list-style-type: none"> <li>The type of fill to be used and the manner in which it is to be compacted;</li> <li>Details of any proposed access routes to the site which are intended to be used to transport fill to the site;</li> <li>Engineering details of any haul roads to be built to facilitate the placement of fill on the site;</li> <li>The contractor is responsible for maintaining the access roads near the site such that they remain free of all fill material and are cleaned as necessary;</li> <li>Damage to Council assets will need to be repaired at no cost to Council;</li> <li>Public footpaths fronting the site are to remain safe at all times; and</li> <li>Compliance with Council's Erosion and Sediment Control Guidelines relating to earthworks on a construction site.</li> </ul> <p><b>54(c) CUTTING/FILLING</b></p> <p>Implement and maintain the provisions of a Site Based Stormwater Management Plan which is consistent with Council's "Subdivision &amp; Development Guidelines" (2000 or later version) and aims to prevent or minimise the contamination of stormwater and the release of contaminated stormwater from the site during construction and operational works.</p>	<p>Prior to site works/building works commencing</p> <p>Prior to site works/building works commencing</p> <p>Prior to site works/building works commencing</p>
<p><b>55) GRANTING EASEMENTS</b></p> <p>Grant the following easement(s):</p>	<p>Prior to commencement of use</p>



<ul style="list-style-type: none"> <li>a. Easements for sewerage and water supply purposes in favour of Brisbane city Council over sewerage rising mains or water mains;</li> <li>b. Easements for underground drainage, open cut, overland flow and access purposes as may be required over that part of the site below the Flood Regulation Line and/or that part of the site affected by 100 year average recurrence interval (ARI) flooding, generally as indicated on drawing B04254-SK78 revision B, in favour of Brisbane City Council;</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide access, maintenance of services and to protect drainage paths if required. Easements in favour of the Brisbane City Council are required to have the necessary easement documentation prepared (free of costs and compensation to Council) by the Brisbane City council. Easements not in favour of the Brisbane City Council are required to have the necessary documentation prepared by the applicant's private solicitors. Easements are to be shown on a Survey Plan and lodged with the Delegate Plan Sealing, Development Assessment. Enquiries regarding any legal documentation can be directed to Plan Sealing Unit, Development Assessment (Ph 340 37260). For any other enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
<p><b>56) SIGNS &amp; LINE MARKINGS- INTERNAL</b></p> <p>Provide internal signs and line markings generally in accordance with the approved drawings and documents and in accordance with Austroads and the Manual of Uniform Traffic Control Devices.</p> <ul style="list-style-type: none"> <li>a) Prepare detailed engineering plans prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" showing the design of the sign and line marking work;</li> <li>b) Construct the works in accordance with the engineering plans; and</li> <li>c) Submit "As Constructed" plans to the Engineering Delegate, Development Assessment, approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications and that the works required by this condition are in accordance with "Austroads" and the "Manual of Uniform Traffic Control Standards".</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the development is signed and lined in accordance with the relevant standards.</i></p>	<p>Prior to commencement of use</p>
<p><b>57) RETAINING WALLS</b></p> <p>Any retaining walls greater than 1.0 metre in height are required to be structurally certified for design and construction by a Registered Professional Engineer Queensland (RPEQ). The certification is to include the stormwater drainage (surface and seepage water) associated with the wall ensuring that the water is directed to an acceptable lawful and legal point of discharge and does not cause any ponding, nuisance or disturbance to adjacent property owners.</p> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that retaining walls associated with</i></p>	<p>Prior to commencement of use</p>

<p>the development that are higher than 1 metre, are designed and constructed to industry standards and also, to ensure that no adverse impact is created by the structures on the surrounding properties. The retaining wall designer should note that timber retaining walls facing onto Council property (including the road reserve) will not be permitted. Retaining walls facing onto road reserve or parkland are to be contained entirely within the proposed development site, including the retaining wall's footings. Where retaining walls are proposed to be constructed between adjoining properties, it is also suggested that the use of timber sleeper retaining walls be restricted due to their limited life and the potential problems they may cause to future property owners. Where the combined height of the retaining wall and fence exceeds 2.0 metres, a Development Permit for Building Work will need to be granted. For any enquires about this condition please contact the Engineering Delegate, Development Assessment.</p>	
<p><b>58) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>Construct and delineate or sign (as required) the following requirements as indicated on the approved plan(s) of layout:</p> <p>Construct a pavement of minimum Type A standard and surface with an impervious material (including associated drainage) to the area on which motor vehicles will be driven and/or parked. (Construction of such pavement is to be certified by a Registered Professional Engineer of Queensland (RPEQ));</p> <p><b>58(a) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>The driveways at grades shown on the approved plans and documents (or if not shown at grades not greater than those set out in "Brisbane City Plan 2000 - Transport, Access, Parking and Servicing Planning Policy");</p> <p><b>58(b) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>Manoeuvring on site for Outside Broadcast vehicles, buses, and service vehicles and for the loading and unloading of the vehicle(s);</p> <p><b>58(c) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>Parking on the site for 162 cars, including a minimum of 2 spaces for persons with a disability, and for the loading and unloading of vehicles within the site;</p> <p><b>58(d) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>A directional visitor parking sign at the vehicle entrance to the site adjacent to or clearly visible from the vehicle entrance to the site;</p> <p><b>58(e) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>An appropriate area for the storage and collection of refuse, including recyclables, in a position which is accessible to service vehicles on the site;</p> <p><b>58(f) ACCESS, GRADES, MANOEUVRING, CARPARKS, SIGNS,</b></p> <p>The internal paved areas are to be signed and delineated in accordance with the approved plans, Manual of Uniform Traffic Control Devices and Austroads.</p> <p><b>GUIDELINE</b></p>	<p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p>

<p><i>The "Brisbane City Plan 2000 - Transport, Access, Parking and Servicing Planning Policy" requires adequate on-site provision of parking, servicing and manoeuvring areas. This condition specifies detailed design requirements as indicated on the approved drawings and documents to which the approval relates.</i></p>	
<p><b>59) FLOODING - Q50 &amp; Q100</b></p> <p>Run off from the site and run off concentrated on the site from local catchments for storms up to the 50 year (ARI) flood event and for a 100 year (ARI) flood event for creek and river flooding, is to be managed in accordance with approved drainage plans and Council's "Subdivision and Development Guidelines" so as not to have any adverse effect on neighbouring properties.</p> <p>Design and construct all buildings to have the appropriate freeboard in accordance with the Council's "Subdivision and Development Guidelines" so as not to be flooded during a 50 year (ARI) local flood event or a 100 year (ARI) creek or river flood event whichever is the higher flood level;</p> <p><b>59(a) FLOODING - Q50 &amp; Q100</b></p> <p>Submit engineering plans and calculations, prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance with the Council's "Subdivision and Development Guidelines", demonstrating how the development will comply with this requirement. Such plans are to show adequate survey information on areas adjoining the site with particular attention to ponding of water and overland flow paths and building pads. Additionally, the submitted information is to determine the extent of any stormwater drainage works and the width of any overland flow easements. Obtain approval for the design from the Engineering Delegate, Development Assessment;</p> <p><b>59(b) FLOODING - Q50 &amp; Q100</b></p> <p>Complete the works in accordance with the approved engineering plans; and</p> <p><b>59(c) FLOODING - Q50 &amp; Q100</b></p> <p>Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><b>GUIDELINE</b></p> <p><i>This condition is intended to ensure that the design of the subject development accounts for the stormwater run off and/or if stormwater drainage patterns in the vicinity of the site require improvements. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	<p>Prior to lodging an application for Building Works</p> <p>Prior to lodging an application for Building Works</p> <p>Prior to lodging an application for Building Works</p> <p>Prior to lodging an application for Building Works</p>
<p><b>60) MINIMUM FLOOR LEVELS</b></p> <p>Design and construct all proposed buildings in accordance with Council's "Subdivision and Development Guidelines" to ensure that minimum habitable floor levels are 500 mm above the 100 year (ARI) flood level (river and creek flooding) or 500 mm above the 50 year (ARI) (overland flow level) whichever is the greater.</p>	<p>Prior to lodging an application for Building Works</p>

<ul style="list-style-type: none"> <li>• All service sheds must ensure that the storage level for chemical purposes are to be not less than 500 mm above the 50 year (ARI) or 100 year (ARI) flood levels (which ever is the greater).</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when the site is affected by flooding. The 100 year ARI event is applicable to river and/or creek flooding. If the catchment is localised, the 50 year ARI event will be applicable unless the site is also affected by creek or river flooding in which case the higher flood level is to be used. For flood level information, Council Flood Reports are now available from any of Council's Customer Service Centres and Regional Business Centres. The new Flood Report provides the latest flood information for a nominated property plus other useful information about flooding and your development.</i></p>	
<p><b>61) CONSTRUCT FOOTPATH</b></p> <p>Undertake the following works to provide safe pedestrian access to the Tennis centre:</p> <p>a) Construct a footpath a minimum width of 1.2 metres at the Softstone Street and Fairfield Road Access points generally in accordance with Drawings B04254-SK65 revision C and Drawing B04254-SK58 and in accordance with Council's "Subdivision and Development Guidelines". The design of the footpath works is to include any permanent safety signs, markings and devices (if required).</p> <p>b) Construct a 4.0 metre wide Pedestrian link to the Yeerongpilly Railway Station Overpass generally as per drawing B04254-SK59 Revision A.</p> <p>c) Construct all footpaths to a standard that will be satisfactory to be accepted "on" and "off" maintenance" as a Council asset, by the Engineering Delegate, Development Assessment; and</p> <p>d) Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition requires works to be undertaken in the road reserve. The intention of the condition is to ensure that the adjoining footpaths are designed and constructed to a standard suited to the demands created by the approved development. For advise regarding alignment and levels of the proposed works and any other enquires about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	<p>Prior to commencement of use</p>
<p><b>62) REPAIR DAMAGE TO KERB, FOOTPATH OR ROAD</b></p> <p>Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried in association with the approved development.</p> <p><b>GUIDELINE</b>  <i>The intention of this condition is to ensure that any works undertaken as</i></p>	<p>Prior to commencement of use</p>

<p><i>part of the approved development do not damage Council assets or leave Council assets in an unacceptable and unsightly manner. For enquiries regarding this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
<p><b>63) REFUSE &amp; RECYCLE BINS - ON SITE COLLECTION</b> Be responsible for internal (on-site) collection of refuse and recyclables from the development. Enter into an agreement with Council's City Waste Services to provide a bulk bin collection service to the development;</p> <p><b>63(a) REFUSE &amp; RECYCLE BINS - ON SITE COLLECTION</b></p> <p>The applicant/owner shall notify future owners/body corporate that the development has been approved on the basis that an indemnity is provided for refuse collection vehicles to enter the property;</p> <p><b>63(b) REFUSE &amp; RECYCLE BINS - ON SITE COLLECTION</b></p> <p>Forward a copy of the written indemnity agreement with City Waste Services to the Engineering Delegate, Development Assessment;</p> <p><b>63(c) REFUSE &amp; RECYCLE BINS - ON SITE COLLECTION</b> Forward a copy of the written undertaking required to advise future owners/body corporate to the Engineering Delegate, Development Assessment.</p> <p><b>GUIDELINE</b> <i>This condition is imposed to ensure that adequate arrangements are made for the collection of refuse and recyclables from the approved development. For any enquiries about this condition, please contact the Coordinator of City Waste Contract Services, Ph - 30274663</i></p> <p><b>63(d) REFUSE &amp; RECYCLE BINS - ON SITE COLLECTION</b></p> <p>The applicant/owner must indemnify Council and its agents in respect of any damage to the pavement and other driving surfaces;</p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p> <p>Prior to commencement of use</p> <p>Prior to commencement of use</p> <p>Prior to commencement of use</p>
<p><b>64) INTERNAL ROAD</b></p> <p>Construct the following road works with any associated drainage and services in accordance with an approved detail design and Council's "Subdivision and Development Guidelines":</p> <p>a) The road 30.0 metres wide to be classified as Type C (designed for 85 percentile 30 km/hr maximum);</p> <p>b) A suitably sealed area for the provision of a temporary refuse vehicle turning area;</p> <p>c) Submit functional layout plans showing the extent of the road works. Obtain approval from the Engineering Delegate, Development Assessment;</p> <p>d) Submit engineering plans prepared by a Registered Professional Engineer Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" showing the design of the roadworks including any external signs and permanent traffic safety signs, markings and devices (if required). <b>(If the stormwater Quality</b></p>	<p>Prior to undertaking the works</p>

<p>Improvement strategy includes the use of swales then the swale profile shall be in accordance with the Swale Profiles shown on Council's standard drawing UMS 151 or as determined by the Engineering Delegate, Development Assessment. }. Obtain approval from the Engineering Delegate, Development Assessment;</p> <p>e) Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on-maintenance" and "off-maintenance" as a Council asset, by the Engineering Delegate, Development Assessment; and</p> <p>f) Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines" ) certifying that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when new roads are to be constructed and dedicated to Council. For any enquiries about this condition please contact the Engineering Delegate, Development Assessment</i></p>	
<p><b>65) REDUNDANT CROSSOVER</b></p> <p>Construct a cul-de-sac to the intersection of Ortive Street and Fairfield Road and reinstate the kerb and channel, road pavement, footways and footpaths, generally as per Drawing B04254-SK58 revision A and in accordance with Council's Standards.</p> <p>a) Obtain a permit from the Engineering Delegate, prior to carrying out such works within the road reserve.</p> <p>b) Construction of such works must be certified by a Registered Professional Engineer-Queensland (RPEQ). A copy of the certification, ensuring the works have been constructed in accordance with Council's Standards, must be forwarded to the Engineering Delegate.</p> <p>c) The contractor/developer is to correspond with residents at Ortive Street to ensure they are kept up to date of construction scheduling to minimise disruptions.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to prevent vehicle ingress or egress between Ortive Street and Fairfield Road. For any enquiries about this condition please contact the Engineering Delegate, Development Assessment</i></p>	<p>Prior to undertaking the works</p>
<p><b>66) ROADWORKS ASSOCIATED WITH ACCESS</b></p> <p>Undertake the following road works with any associated drainage and services in association with vehicle access to the site.</p> <p>Construct a Roundabout at the intersection of King Arthur Terrace, Softstone Street and the western access to the site generally in accordance with Drawing number B04254-SK65 revision C. Construct new type D concrete kerb and channel and associated drainage (taking into account any road widening if required) and Type C road pavement from the lip of the new kerb and channel to the edge of the existing road pavement with any appropriate tapers (the minimum width of road construction/reconstruction is to be 1.2 metres).</p>	<p>Prior to commencement of use</p>

<p><b>66(a) ROADWORKS ASSOCIATED WITH ACCESS</b></p> <p>Construct a Signalised Intersection at the intersection of Fairfield Road and the eastern access to the site generally in accordance with Drawing number B04254-SK58 revision A. Construct new type D concrete kerb and channel and associated drainage (taking into account any road widening if required) and Type C road pavement from the lip of the new kerb and channel to the edge of the existing road pavement with any appropriate tapers (the minimum width of road construction/reconstruction is to be 1.2 metres).</p>	Prior to commencement of use
<p><b>66(b) ROADWORKS ASSOCIATED WITH ACCESS</b></p> <p>Submit engineering plans prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" showing the design of the roadworks including any external signs and permanent traffic safety signs, markings and devices (if required). Obtain approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p>	Prior to commencement of use
<p><b>66(c) ROADWORKS ASSOCIATED WITH ACCESS</b></p> <p>Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance" as a Council asset, by the Engineering Delegate, Development and Regulatory Services; and</p>	Prior to commencement of use
<p><b>66(d) ROADWORKS ASSOCIATED WITH ACCESS</b></p> <p>Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><i>GUIDELINE</i>  <i>This condition is imposed when works within the road reserve or future road reserve are required, and to ensure that the required works are carried out in accordance with this approval and relevant standards. The work required by this condition is to be carried out in accordance with Council's "Subdivision and Development Guidelines". For enquiries regarding this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	Prior to commencement of use
<p><b>67) SIGNS &amp; LINE MARKINGS - EXTERNAL</b></p> <p>Provide external signs and line markings and or modifications to external parking signs, bus facilities, traffic signal layouts, parking meters and line markings as may be required by the approved development: Generally in accordance with the approved drawings and documents; In accordance with an approved detailed design; and/or In accordance with "Austroads" and the "Manual of Uniform Traffic Control Devices".</p> <p>Submit detailed engineering plans prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" showing the design of the sign and line marking work. Obtain approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p> <p><b>67(a) SIGNS &amp; LINE MARKINGS - EXTERNAL</b></p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p>

<p>Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance" as a Council asset, by the Engineering Delegate, Development and Regulatory Services; and</p>	
<p><b>67(b) SIGNS &amp; LINE MARKINGS - EXTERNAL</b></p> <p>Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications and that the works required by this condition are in accordance with "Ausroads" and the "Manual of Uniform Traffic Control Standards".</p>	<p>Prior to commencement of use</p>
<p><b>67(c) SIGNS &amp; LINE MARKINGS - EXTERNAL</b></p> <p>Submit certification by a Registered Professional Engineer of Queensland (RPEQ) that the works required by this condition are in accordance with Ausroads and the Manual of Uniform Traffic Control Devices.</p> <p><i>GUIDELINE</i>  <i>This condition is intended to ensure that the development is signed and lined in accordance with the relevant standards. A fee is payable to cover the Council's cost incurred in the preparation of any plans, adjusting its records and carrying out any work if necessary. If Council is to carry out the works, a minimum of six (6) weeks notice is required. For enquiries regarding this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	<p>Prior to commencement of use</p>
<p><b>68) CONSTRUCT SEWER FROM "A" TO "B"</b></p> <p>Construct the sewer as detailed on Sketch Number B04254-SK57 including a New Sewer Pump Station and Rising Main in accordance with Council's "Water and Sewerage Reticulation Standards". (Such work does not include connection to the sewer main).</p> <p>Submit engineering plans prepared by a Registered Professional Engineer Queensland (RPEQ), and in accordance with Council's "Water and Sewerage Reticulation Standards" showing the design the works. Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p> <p><b>68(a) CONSTRUCT SEWER FROM "A" TO "B"</b></p> <p>Pay to Council the cost of live connection to the sewer mains;</p> <p><b>68(b) CONSTRUCT SEWER FROM "A" TO "B"</b></p> <p>Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance as a Council asset, by the Engineering Delegate, Development and Regulatory Services;</p> <p><b>68(c) CONSTRUCT SEWER FROM "A" TO "B"</b></p> <p>Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Water and Sewerage Reticulation</p>	<p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p>



<p>Standards") certifying that the works have been completed in accordance the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to bring sewerage infrastructure to the site or to augment the existing system. Plans must be prepared in accordance with Council's "Water and Sewerage Reticulation Standards" and may therefore constitute assessable development. It will be necessary to obtain the consent of the owner of all properties through which any proposed sewer passes. This will be a mandatory part of the application for engineering approval. For enquiries regarding this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
<p><b>69) PROVIDE/EXTEND 150 MM SEWER CONNECTION(S)</b></p> <p>Provide a sewer property connection to serve the development designed and constructed in accordance with approved engineering plans and Council's "Water and Sewerage Reticulation Standards". NB. The size of the connection shall be determined by the total number of fixture units.</p> <p>Submit engineering plans prepared by a Registered Professional Engineer Queensland (RPEQ), and in accordance with Council's "Water and Sewerage Reticulation Standards" showing the design the works. Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p> <p><b>69(a) PROVIDE/EXTEND 150 MM SEWER CONNECTION(S)</b></p> <p>Pay to Council the cost of live connection to the sewer main;</p> <p><b>69(b) PROVIDE/EXTEND 150 MM SEWER CONNECTION(S)</b></p> <p>Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance as a Council asset, by the Engineering Delegate, Development and Regulatory Services;</p> <p><b>69(c) PROVIDE/EXTEND 150 MM SEWER CONNECTION(S)</b></p> <p>Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Water and Sewerage Reticulation Standards") certifying that the works have been completed in accordance the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide a separate new sewerage connection to the development. For enquiries regarding this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	<p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p>
<p><b>70) BOS (BUILD OVER SEWER)</b></p> <p>Obtain written permission from the Engineering Delegate, Development and Regulatory Services, to build over or near sewer infrastructure, or to relocate the sewer/sewer infrastructure at no cost to Council.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed so that the council does not incur costs</i></p>	<p>Prior to lodging an application for Building Works</p>

<p><i>associated with the erection of a building or structure over or near a sewer and/or sewer infrastructure. To avoid unnecessary expense and delay, the Council strongly recommends that the developer apply for permission to "Build Over Sewer" prior to the lodgement of any further development applications. For any enquiries regarding this condition, please contact the Delegate, Development Assessment.</i></p>	
<p><b>71) BONSW (BUILD OVER NEAR STORMWATER)</b></p> <p>Obtain written permission from Council to build over or near storm water infrastructure (pipe drainage system or an easement for overland flow), or, to relocate a storm water drainage system, all at no cost to Council.</p> <p>Submit engineering plans and calculations (if required), prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance Council's "Guidelines for Building Over or Near Stormwater Facilities" in the "Subdivision and Development Guidelines" showing the manner in which it is intended to preserve the existing storm water drainage structures (or overland flow easements) within the site from damage, structural loading or obstruction. Obtain approval for the design from the Engineering Delegate, Development Assessment, Development and Regulatory Services.</p> <p><b>71(a) BONSW (BUILD OVER NEAR STORMWATER)</b></p> <p>Complete the works in accordance with the approved engineering plans.</p> <p><b>71(b) BONSW (BUILD OVER NEAR STORMWATER)</b></p> <p>Submit "As Constructed" plans including an asset register (if required) of any modified or relocated stormwater drainage structure or other Council asset. The plans are to be approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") and certified that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition has been imposed to ensure that acceptable measures will be incorporated into the development to protect Council's Infrastructure. For any enquiries about this condition, please contact Council's Customer Contact Centre on ph. 3403 8888.</i></p>	<p>Prior to lodging an application for Building Works</p> <p>Prior to lodging an application for Building Works</p> <p>Prior to lodging an application for Building Works</p>
<p><b>72) ON-SITE DRAINAGE</b></p> <p>Run-off from roof and developed surface areas of the site, and any run-off onto the site from adjacent areas, are to be collected internally and directed to a lawful point of discharge in accordance with Council's "Subdivision and Development Guidelines".</p> <p>Submit drainage plans and engineering calculations (as a part of the development's Site Based Stormwater Quantity Management Plan) in accordance with Council's "Subdivision and Development Guidelines" showing the design of the drainage of the roof and developed surfaces. Obtain approval from the Engineering Delegate, Development Assessment.</p>	<p>Prior to site works/building works commencing</p>

<p>Such plans are to show adequate survey information on areas adjoining the site with particular attention to any nuisance or annoyance to adjoining property owners.</p> <p>Please note all constructed stormwater outlets that are proposed to discharge directly to a waterway, shall ensure an appropriate waterway setback, reduction in flow outlet velocity and concentration and, include any supplementary planting works that may be required (refer "Stormwater Outlets in Parks and Waterways", BCC July 2000);</p> <p><b>GUIDELINE</b>  <i>The purpose of this condition is to ensure that stormwater run off from the site and adjacent properties will be handled adequately. Disposal by gravity pipeline is required if practical. Use of pumps for disposal of stormwater may be approved only if the applicant can show evidence to Council of having taken all reasonable steps to obtain written permission from adjacent property owners for construction of a gravity pipeline, and of this being unobtainable. The proposal may include water saving and reuse devices such as rain water tanks provided that the proposal satisfies Council that devices will be satisfactorily maintained by the owners of the property. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p> <p><b>72(a) ON-SITE DRAINAGE</b></p> <p>Complete the works in accordance with the approved engineering plans and other elements of the development's Site Based Stormwater Management Plan; and</p> <p><b>72(b) ON-SITE DRAINAGE</b></p> <p>Submit "As Constructed" plans approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</p>	<p>Prior to site works/building works commencing</p> <p>Prior to site works/building works commencing</p>
<p><b>73) UP STREAM STORMWATER DRAINAGE CONNECTION</b></p> <p>Provide a stormwater drainage connection for the future development of all adjoining upstream properties in accordance with an approved drainage plan and Council's "Subdivision and Development Guidelines".</p> <p>Submit engineering plans and calculations and obtain approval from the Engineering Delegate, Development Assessment;</p> <p><b>73(a) UP STREAM STORMWATER DRAINAGE CONNECTION</b></p> <p>Complete the works in accordance with the approved engineering plans and in accordance with, Council's "Subdivision and Development Guidelines"; and</p> <p><b>73(b) UP STREAM STORMWATER DRAINAGE CONNECTION</b>          Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p> <p>Prior to commencement of use</p>

<p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the subject development does not prejudice stormwater drainage of adjacent properties. The stormwater drainage required by this condition needs to be encompassed by an easement granted in favour of the Council, as may be required. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
<p><b>74) INTERNAL STORMWATER FACILITIES</b></p> <p>Manage on-site drainage, ponding and discharge: Design, construct, and thereafter maintain, rehabilitate or replace the following facilities in accordance with the approved plan(s) of layout. These works are to be designed, constructed and maintained in accordance with the following documents:</p> <ol style="list-style-type: none"> <li>1. Stormwater Management Code of the City Plan;</li> <li>2. Services Works and Infrastructure Code of the City Plan;</li> <li>3. The Subdivision and Development Guidelines;</li> <li>4. QUDM.</li> </ol> <p><b>74(a) INTERNAL STORMWATER FACILITIES</b></p> <p>A Certificate of Completion (as per Chapter 3, Appendix B of Part E of the Subdivision and Development Guidelines) certified by a Registered Professional Engineer of Queensland (RPEQ) is required as proof of compliance with this condition. A copy of the Certificate of Completion is to be forwarded to the Engineering Delegate.</p> <p><b>NOTE: The design, design documentation, (including test results) and the Certificate of Completion are to be forwarded to and retained by the current and future owner(s) as proof of initial compliance with this Condition of Development and to assist in the on-going compliance with this Condition of Development and any future auditing.</b></p> <p><b>GUIDELINE</b>  <i>The purpose of this condition is to ensure that stormwater run off from the site and adjacent properties will be handled adequately. Disposal by gravity pipeline is required if practical. Use of pumps for disposal of stormwater may be approved, however details and plans would need to be approved by the Engineering Delegate. The applicant would need to show evidence to Council of having taken all reasonable steps to obtain written permission from adjacent property owners for construction of a gravity pipeline, and of this being unobtainable. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p>
<p><b>75) SERVICE CONDUITS &amp; MAINS</b></p> <p>Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in connection with the approved development. This includes the relocation of any fire hydrants and valves from within the limits of the development's vehicular footway crossings if applicable. Complete the works required by this condition;</p> <p><b>75(a) SERVICE CONDUITS &amp; MAINS</b></p> <p>Submit "As Constructed" plans including an asset register (if</p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p>

<p>required), approved by a registered Professional Engineer Queensland (RPEQ) (in accordance with Council's "Subdivision and Development Guidelines" and "Water and Sewerage Reticulation Standards") showing the works required by this condition.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when additions, alterations or extensions to service conduits, mains and other services are required as a result of the approved development. Applicants should liaise with the appropriate service authorities. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment (regarding advice on traffic signal conduits, stormwater, water supply and sewerage mains etc.) or the relevant public utility authorities (for advice on other services).</i></p>	
<p><b>76) ELECTRICITY (UNDERGROUND SUPPLY AREA)</b></p> <p>Provide underground electricity services in accordance with an approved electricity reticulation plan and the Council's "Subdivision and Development Guidelines (Public Utilities Section)". Note: Even though the development may be in an area serviced by overhead electricity, UNDERGROUND supply to the development is now required - no additional poles or overhead mains are to be erected.</p> <p>Lodge electricity reticulation plans showing and the proposed electricity services and obtain approval from the City Lighting Unit, Local Asset Services Central District;</p> <p><b>76(a) ELECTRICITY (UNDERGROUND SUPPLY AREA)</b>  Enter into an agreement with an electricity supplier to provide underground electricity services in accordance with the above approved electricity reticulation plans; and</p> <p><b>76(b) ELECTRICITY (UNDERGROUND SUPPLY AREA)</b>  Forward a copy of the agreement to the Engineering Delegate, Development and Regulatory Services.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when a proposed development would require the provision of electricity services in accordance with Council's "Guidelines for the Provision of Underground Electricity". Please refer to the Council's information sheet on lodging detailed design applications. For any enquiries about this condition, please contact the City Lighting Unit (PH 3403 0307) regarding electricity reticulation plans or Energex (PH: 131 253) regarding electricity supply.</i></p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p> <p>Prior to commencement of use</p>
<p><b>77) PUBLIC LIGHTING</b></p> <p>Provide a public lighting system in accordance with an approved street lighting design plan and Council's "Street Lighting Design Guidelines".</p> <p>Lodge street lighting design plans showing the proposed public lighting system and obtain approval from the City Lighting Unit, Local Asset Services Central District;</p> <p><b>77(a) PUBLIC LIGHTING</b>  Enter into an agreement with an electricity supplier to provide a public lighting system in accordance with the above approved lighting design plans; and</p> <p><b>77(b) PUBLIC LIGHTING</b></p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p> <p>Prior to commencement of use</p>

<p>Forward a copy of the agreement to the Engineering Delegate, Development and Regulatory Services.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when a proposed development requires the provision of public lighting facilities in accordance with the "Street Lighting Design Guidelines". Please refer to the Council's information sheet on lodging detailed design applications. For any enquiries about this condition, please contact the City Lighting Unit (PH 3403 0307) regarding electricity reticulation plans or Energex (PH: 131 253) regarding electricity supply.</i></p>	
<p><b>78) TELECOMMUNICATION - UNDERGROUND</b></p> <p>Provide underground telecommunication services to the proposed development.</p> <p>Enter into an agreement with a telecommunication company and provide underground telecommunication services within and adjacent to the proposed development; and</p> <p><b>78(a) TELECOMMUNICATION - UNDERGROUND</b>          Forward a copy of the agreement to the Engineering Delegate, Development and Regulatory Services.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that the provision of essential communication services are provided to the development. For any enquiries about this condition, please contact relevant service carriers regarding communications or Telstra (pH 132 200).</i></p>	<p>Prior to commencement of use</p> <p>Prior to commencement of use</p>
<p><b>79) CONSTRUCT WATER MAIN FROM "A" TO "B"</b></p> <p>Construct a 200 mm diameter water main from "A" to "B" as detailed on Drawing number B04254-SK57 in accordance with Council's "Water and Sewerage Reticulation Standards". (Such work does not include connection to the water main).</p> <p>Submit engineering plans prepared by a Registered Professional Engineer Queensland (RPEQ), and in accordance with Council's "Water and Sewerage Reticulation Standards" showing the design the works. Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p> <p><b>79(a) CONSTRUCT WATER MAIN FROM "A" TO "B"</b></p> <p>Pay to Council the cost of live connection to the water mains;</p> <p><b>79(b) CONSTRUCT WATER MAIN FROM "A" TO "B"</b></p> <p>Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance as a Council asset, by the Engineering Delegate, Development and Regulatory Services;</p> <p><b>79(c) CONSTRUCT WATER MAIN FROM "A" TO "B"</b>          Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Water and Sewerage Reticulation</p>	<p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p>

<p>Standards") certifying that the works have been completed in accordance the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to bring water supply infrastructure to the site or to augment the existing system. For enquiries regarding this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
<p><b>80) METERING - MIXED USE DEVELOPMENT</b></p> <p>Provide a water service with approved Council meter assembly and meter box to the front real property boundary of the development in accordance with Council's "Water and Sewerage Reticulation Standards". Where a mixed usage site is approved for development and the proposed development comprises mixed classifications as defined by the Building Code of Australia containing any of Classes 5 to 9 and any of Classes 2 to 4, then the developer must provide a separate metered water service for the Class 2 to 4 occupancy as opposed to the Class 5 to 9 occupancy. This requirement is exclusive of any special fire service consideration i.e. internal hydrants, fire hose reels and sprinkler systems.</p> <p>Submit engineering plans prepared by the RPEQ (Registered Professional Engineer Queensland) , and in accordance with Council's "Water and Sewerage Reticulation Standards" showing service and meter works. (The size of the service shall be determined by the water supply requirement of the proposed development). Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p> <p><b>80(a) METERING - MIXED USE DEVELOPMENT</b></p> <p>Pay to Council the cost of live connection to the water main;</p> <p><b>80(b) METERING - MIXED USE DEVELOPMENT</b></p> <p>Such construction is to be to a standard that is satisfactory to be accepted on an off maintenance;</p> <p><b>80(c) METERING - MIXED USE DEVELOPMENT</b></p> <p>If the meters are purchased other than from Council, pay to council a documentation fee for each water service provided. If the meters are purchased from Council, forward a copy of the receipt of purchase to the Engineering Delegate, Development and Regulatory Services.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to supply a water service and a meter(s) to a Development / Community Title Development / Standard / Building or Volumetric format. The meter(s) shall be accessible to BCC employees or agents for the purpose of reading and maintaining the meter(s). The meter(s) will become and remain property of the Brisbane City Council.</i></p>	<p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p> <p>Prior to undertaking the works</p>

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Multi-Unit Dwelling
Stage:	Preliminary Approval Residential Development

**General/Planning Requirements**

General/Planning Requirements	Timing
<b>81) SPECIFIC DESIGN DETAILS</b>  Ensure that with any Material Change of Use and/or Reconfiguration of a lot, which ever is sooner, all future development maintains the following: The combined maximum Gross Floor Area for the residential buildings does not exceed 90,398m2 where:  I. Buildings A, B and C have a maximum combined Gross Floor Area of 43,905 m2 ; and II. Buildings D, E and F have a maximum combined Gross Floor Area of 46,493 m2 .	As indicated
<b>81(a) SPECIFIC DESIGN DETAILS</b>  Buildings A B & C are contained within the approved building envelope plans 00-DA0002 rev D, amended in red 7 March 2007 and 00-DA0003 rev G, amended in red 7 March 2007;	As indicated
<b>81(b) SPECIFIC DESIGN DETAILS</b>  The following heights apply as shown on plan 00-DA0003 rev G, amended in red 7 March 2007, where:  i. Building A has a maximum height of 45.52 AHD and stepped down to 30.00 AHD ii. Building B has a maximum height of 45.52 AHD; and iii. Building C has a maximum height of 48.52 AHD and stepped down to 39.50 AHD	As indicated
<b>81(c) SPECIFIC DESIGN DETAILS</b>  Individual building setbacks to the Brisbane River are to be generally as shown on Dwg No. 00-DA0002 Rev D, amended in red 7 March 2007 and no less than:  i. Building A - 30.0m ii. Building B - 27.7m iii. Building C - 35.0m	As indicated
<b>81(d) SPECIFIC DESIGN DETAILS</b>  The design elements to reduce the appearance of building bulk includes but is not limited to those design elements shown in diagram SK1(a);	As indicated
<b>81(e) SPECIFIC DESIGN DETAILS</b>  The car parking within any residential building is to be maintained exclusively for the ancillary use of the residential occupants. The parking is not to be made available to the general public and there is to be no advertising signage erected on or in the vicinity of the site	As indicated



advertising the availability of car parking to the general public or non residents of the building/s.

#### 81(f) SPECIFIC DESIGN DETAILS

As indicated

The rooftops contribute to the architectural distinction of the building and create a coherent roofscape for the building by the inclusion of the following design aspects:

- i. The rooftop is designed to enable future inclusion of satellite dishes/telecommunication facilities in an unobtrusive manner; and
- ii. Roofscape must be attractive and not marred by cluttered display of plant and equipment.

#### 81(g) SPECIFIC DESIGN DETAILS

As indicated

Any screening device to balconies or terraces are not fully enclosed and are designed as an integral part of the building and are installed/constructed as part of the construction of the building;

#### 81(h) SPECIFIC DESIGN DETAILS

As indicated

No additional pedestrian access to or from the site to the Tennyson Riverside Parkland is to be provided other than in the locations as shown on the approved plan(s) and documents;

#### 81(i) SPECIFIC DESIGN DETAILS

As indicated

Any vacant part of the site is to present as attractive temporary parkland where not incorporated into and used as part of the construction management plan.

Where buildings are demolished and, for whatever reason, redevelopment is delayed for more than 3 months, the following works are carried out:

- site is cleared of all rubble, debris and demolition materials
- site is levelled to the same level as the adjoining footpath and turfed so it can be mowed
- site is landscaped with perimeter planting consisting of advanced specimens of fast growing species in accordance with the Planting Species Planning Scheme Policy
- drainage is provided to prevent ponding
- site is maintained so there is no sediment run off onto adjacent premises, roads or footpaths
- site is maintained to ensure no nuisance to adjacent premises, roads or footpaths
- public access is provided where public safety can be maintained

#### 81(j) SPECIFIC DESIGN DETAILS

As indicated

Car parking for the Multi-unit Dwellings is to be provided at a rate of:

- I. An average of two vehicle spaces per dwelling unit for units with two or more bedrooms;
- II. An average of one vehicle space per dwelling unit for one bedroom units; and
- III. 0.25 vehicle spaces per dwelling unit for visitors.

**GUIDELINE**

*This condition is imposed to outline where the proposal is to incorporate other matters not mentioned in the Acceptable Solutions in the relevant code(s). This condition should be read in conjunction with Condition 3 of this approval package.*

**82) LEVEL OF ASSESSMENT**

As indicated

For the purpose of this Preliminary Approval pursuant to Section 3.1.6(2) of the *Integrated Planning Act*, all assessable development shall be subject to the following Level of Assessment Table and Applicable City Plan Codes:

Self Assessment	Applicable Code
<b>Outdoor Lighting</b> where complying with Acceptable Solutions in the Light Nuisance Code	Light Nuisance Code
<b>Park</b> where complying with the Acceptable Solutions in the Park Code	Park Code
<b>Home Business</b> where complying with the self assessable Acceptable Solutions in the Home Business Code	Home Business Code
Code Assessment	Applicable Code
Operational Work for <b>Filling or Excavation</b>	Filling and Excavation Code
<b>Multi Unit Dwelling</b> (as defined in Chapter 3 Part 10 of the City Plan) where: <ul style="list-style-type: none"> <li>complying with the conditions in the Preliminary Approval; and</li> <li>the relevant "secondary codes" are to be considered part of the "primary code".</li> </ul>	Stephen District Local Plan Code Residential Design-High Density Code
<b>Shop or Restaurant</b> ( as defined in Chapter 3 Part 10 of the City Plan) where: <ul style="list-style-type: none"> <li>the combined Gross Floor Area is no greater than <b>100 square metres</b>;</li> <li>complying with the condition of the Preliminary Approval; and</li> <li>the relevant "secondary codes" are to be considered part of the "primary code".</li> </ul>	Centre Design Code Centre Amenity and Performance Code
<b>Satellite Dish</b> (where not exempt development)	Satellite Dish Code
<b>Park</b> where not complying with the Acceptable Solutions in the Park Code	Park Code
<b>Reconfiguring a lot</b> , other than volumetric subdivision not associated	Subdivision Code

with an existing or approval building	
<b>Impact Assessment - Generally Appropriate</b>	<b>Applicable Code</b>
<b>Short Term Accommodation</b>	Short Term Accommodation Code
<b>Utility Installation</b>	
<b>Home Business</b> where not complying with the self assessable Acceptable Solutions in the Home Business Code	Home Business Code
<b>Volumetric subdivision</b> where not associated with an existing or approved building	Subdivision Code
<b>Impact Assessment - Generally Inappropriate</b>	<b>Applicable Code</b>
<b>Any other material change of use</b>	

The above Level of Assessment Table shall be read in conjunction with City Plan 2000, Chapter 3, Section 2 - General Assessment Process - as at the date of this approval taking effect.

**GUIDELINE**

*This condition is imposed to ensure that all future assessable development on the site shall be subject to the Level of Assessment Table above. This should be read in conjunction with the most recent version of amendments of City Plan 2000. The allowable Gross Floor Area for the Shop or Restaurant is calculated as per the definition for GFA within the City Plan and includes, but not limited to courtyards, balconies, decks, bathroom and amenities and storage areas. The preliminary approval overrides City Plan 2000 pursuant to Section 3.1.6 of the Integrated Planning Act 1997. The applicable primary code(s) used in assessing any assessable development are those identified as being an applicable code(s) in the above table. For any enquires about this condition, please contact the Assessment Manager.*

**83) PARKLAND CONTRIBUTION**

Prior to the endorsement of any Community Management Statement or the commencement of a Material Change of Use and/or Reconfiguration of a Lot for the last stage of the residential development or as agreed to by the Lead Principal Planner South, transfer to the Brisbane City Council, in fee simple on trust for Public Purposes (parkland and community facilities) land indicated on the Pedestrian & Bicycle Pathways Plan M-SP-RP.DA REV.H, dated July 2006 and dated 19 September 2006, having an area not less than 1.87 Hectares.

**GUIDELINE**

*This condition outlines the total area of land to be transferred to Council on trust prior to completion of the last stage of the residential development on the site. The condition also acknowledges that the land may be transferred over a number of stages as development of the residential units occurs. Section 5.1.12 of IPA allows for the giving of land for public parks in fee simple provided the land is given on trust. For any enquires about this condition, please contact the Assessment Manager.*

As indicated

**84) CARRY OUT THE APPROVED DEVELOPMENT**

As indicated

<p>Development of the site is to be generally in accordance with Site Master Plan M-SP-RP.DA REV.H, dated July 2006 and amended in red 19 September 2006.</p> <p><b>GUIDELINE</b>  <i>This condition refers to the Master Plan to which the Preliminary Approval relates and is the primary means of defining the extent of the approval.</i></p>	
<p><b>85) CONTAMINATION</b></p> <p>Any land transferred to the Council for Public Purposes (Parkland or Community Facilities) and/or for Road Purposes is not to be on the Environmental Management Register and or the Contaminated Land Register, unless agreed to by the future asset owner.</p> <p><b>GUIDELINE</b>  <i>This requirement is imposed to ensure the condition of the land is of a standard acceptable to the future asset owner.</i></p>	As indicated
<p><b>86) SUSTAINABILITY</b></p> <p>Incorporate into the design and construction of any residential building, best practice sustainable development technology and design practices addressing but not limited to:</p> <ul style="list-style-type: none"> <li>i. Passive design;</li> <li>ii. Water use;</li> <li>iii. Materials use;</li> <li>iv. Energy use;</li> <li>v. Site impacts;</li> <li>vi. Transport impacts; and</li> <li>vii. Social and community impacts</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that the proposed buildings are designed to incorporate best practice sustainable development practices.</i></p>	As indicated

#### Monetary Contributions and Securities

	Timing
<p><b>87) WATER SUPPLY AND SEWERAGE</b></p> <p>Water supply and Sewerage Headworks:  Prior to endorsement of a "Community Management Statement", Prior to a Material Change of Use and/or Reconfiguration of a Lot, which ever is sooner, pay to Council a monetary contribution towards the cost of water supply sewerage head works at the rate prevailing at the time when payment is made. The contribution is calculated on the current applicable rate per Equivalent Tenement based on the proposed use of the site.</p> <p><b>This condition will be applied to any Material Change of Use and/or Reconfiguration of a Lot application until such time as the "Infrastructure Charges Plan" is applied over the subject site as defined in Section 5.1.4 of the Integrated Planning Act.</b></p> <p><b>GUIDELINE</b>  <i>This condition is imposed to require the payment of a proportional contribution towards a satisfactory sewerage treatment system within the</i></p>	As indicated

locality of the site. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.

### Ecology

	Timing
<p><b>88) VMP - VEGETATION MANAGEMENT PLAN</b></p> <p>All future development applications for a Material Change of Use, are to submit Vegetation Management Plan which includes the following:</p> <p>The VMP is to be in the form of scaled plans and supporting documentation generally in accordance with Vegetation Retention Plans BO4254-SK70 &amp; SK71 and associated schedules that includes at least the following information:</p> <ol style="list-style-type: none"> <li>The extent of the VMP is to include evaluation of all areas including, proposed road reserves, external works and development areas;</li> <li>The location and description of existing vegetation including species and botanical name plus the height and canopy spread;</li> <li>The location and extent of all site works including all proposed infrastructure and areas of earthworks.</li> <li>Detail design of all civil works is to be cognisant of environmental values. Alternative solutions may be required in some instances, to protect significant vegetation (eg alternative service alignments, variations to batter slopes and tunnel boring);</li> <li>The location and description of all vegetation to be retained and that to be removed;</li> <li>A description of all measures to be used to protect vegetation and habitat features to be retained during construction;</li> <li>A description of all pruning and tree surgery works (to AS 4373/96) to maintain health and stability of trees and reduce potential hazards for future residents;</li> <li>The location and extent of storage and stockpile areas for cleared vegetation and site mulch;</li> <li>A description of all methods to salvage and/or re-use cleared vegetation. Generally cleared vegetation is to be mulched for reuse in landscape/rehabilitation works; and</li> <li>Details of all measures to protect and recover fauna during clearing operations, including; presence of a qualified wildlife officer during clearing operations, preclearing inspections, staging and sequence of clearing and recovery procedures.</li> </ol> <p><b>GUIDELINE</b></p> <p><i>This condition is imposed where the site contains vegetation, fauna and habitat features that should be retained, protected and/or managed as part of the development of the site. Before carrying out any site works it will be necessary to obtain a detailed design approval from the Council by submitting an application accompanied by a Vegetation Management Plan. Once the works are implemented, it will be necessary to arrange for the Delegate, Licensing and Compliance, Development and Regulatory Services, to inspect and approve them. For enquiries about this condition, please contact the Ecologist, Development Assessment.</i></p>	As indicated

### Landscape Architecture and Open Space Planning

	Timing
<p><b>89) PARKLAND DESIGN PLAN</b></p> <p>All future development applications for a Material Change of Use, are to submit a Landscape Management and Site Works plan for the parkland</p>	As indicated

prepared in accordance with Councils "Public Riverside Facilities Design and Maintenance Manual" Council's "Subdivision and Development Design Guidelines", Best Trade Practice and which includes the following:

- i. **Existing site conditions:** existing contours, and vegetation on site and on adjoining properties (including footpath) which impact on the site. Any earthworks proposed within the vicinity of vegetation to be retained including the riparian vegetation above and below the highwater mark. Existing buildings to be retained ie pump station, overland flow paths, existing services any feature of cultural significance, the location of the Mean Spring High Water Mark and the highest summer highwater mark along the Brisbane River, surveyed property boundary, stormwater outlets to the Brisbane River are to be documented.
- ii. **Proposed site conditions:** proposed surface treatments and indicative spot levels, including but not limited to buildings, walkways, car parking areas, field gullies, services (above and below ground level), retaining or revetment walls, existing buildings to be retained ie pump station, overland flow paths, the Mean Spring High Water Mark and the highest summer highwater mark along the Brisbane River, surveyed property boundary, the location of any proposed services alignments,
- iii. **Extent, function and character of areas within the park:** proposed surface treatments, activity zones such as quiet areas, viewing, passive and active open space zones, pathway alignments, plant massing and buffer planting and critical interface points and shade tree planting.
- iv. **Proposed resolution of earthworks:** location, height and type of retaining walls, depth of topsoil, mulch and drainage, levels and grades to all critical interfaces and areas, stabilisation of steep areas, interface with adjoining land uses and the footpath.
- v. **Shared pedestrian/bicycle path within the Tennyson Riverside Park is as follows:**
  - a. the riverside pathway is varying in width, with a minimum width of 3 metres;
  - b. is designed according to the specification of the *Public Riverside Facilities Design and Maintenance Manual*;
  - c. where no part of the riverside pathway extends over the property alignment of the site to the Brisbane River; and
  - d. the riverside pathway is to be designed generally in accordance with the EDAW Riverside Park Promenade Drawing L-2038-A1L-205 dated 29/09/06 as amended in red and Pedestrian & Bicycle Pathways Plan M-SP-RP.DA, Rev H, amended in red 19 September 2006 to show minimum path widths;
- i. **Park embellishments:** park furniture such as seating, drinking fountains, bike racks, rubbish bin enclosures, barbecues, picnic facilities, signage, any educational facilities, and play equipment; seating;
- ii. **Specification notes:** standard specification notes including but not limited to soil preparation, methods for the protection of vegetation to be retained during construction activity on site, maintenance establishment and irrigation;
- iii. **Proposed planting palette:** indicative tree, shrub, ground cover and accent plant species, together with intended size at time of planting;
- iv. **Rehabilitation of riparian corridor:** with riparian vegetation community and enhancement of habitat features; and
- v. **Proposed finishes palette:** for all hard landscape items such as paths, pavers, retaining walls, railings and fences and any other ground treatments such as decking.

<p><b>GUIDELINE</b>  <i>This condition outlines the minimum requirements for the development of the parkland within the site to an acceptable Council standard.</i></p>	
<p><b>90) ACCEPTANCE OF PARKLAND</b></p> <p>The developer is to maintain (at the developers expense) all parkland shown on Master Plan 00-DA0001, Rev I, amended in red 7 November 2007 to a standard that will be satisfactory to be accepted "on maintenance" (practical completion) and "off maintenance" (final completion) until such time as the following has occurred:</p> <p>a) An area not less than 1.87 Hectares is transferred to the Brisbane City Council, in fee simple on trust for Public Purposes (parkland and community facilities) as indicated on the Master Plan 00-DA0001, Rev I, amended in red 7 November 2007; and</p> <p>b) The works to be constructed for the final stage of the parkland dedication is to a standard that will be satisfactory to be accepted "on" and "off" maintenance as a Council asset, by the Councils Delegate for a period of 12 months; and</p> <p>c) The bond for the works within the parkland is returned to the developer.</p> <p><b>GUIDELINE</b>  <i>This condition advises the developer that the parkland within the development as shown on the Master Plan is to be maintained by the developer until the final stage of the parkland has been dedicated and is "off maintenance". The on maintenance period is 12 months as per Councils Subdivision and Development Guidelines.</i></p>	<p>As indicated</p>
<p><b>91) DETAILED LANDSCAPE REQUIREMENTS</b></p> <p>All future development applications for a Material Change of Use, are to submit a Landscape Concept Plan which includes at least the following:</p> <p>(i) <b>Existing site conditions:</b> existing contours, and vegetation on site and on adjoining properties (including footpath) which impact on the site. Any earthworks proposed within the vicinity of vegetation to be retained is to be documented.</p> <p>(ii) <b>Proposed site conditions:</b> proposed surface treatments and indicative spot levels, including but not limited to buildings, driveways, car parking areas, field gullies, services (above and below ground level) and retaining walls.</p> <p>(iii) <b>Extent, function and character of areas to be landscaped:</b> proposed plant massing to address buffer planting and critical interface points, shade tree planting.</p> <p>(iv) <b>Proposed resolution of earthworks:</b> location, height and type of retaining walls, stabilisation of steep areas, interface with adjoining land uses and the footpath.</p> <p>(v) <b>Typical construction detail:</b> for critical issues including sections showing depth of topsoil, mulch and drainage medium for proposed retaining walls within landscaped areas.</p> <p>(vi) <b>Specification notes:</b> standard specification notes including but not</p>	<p>As indicated</p>

limited to soil preparation, methods for the protection of vegetation to be retained during construction activity on site, maintenance establishment and irrigation.

(vii) **Proposed planting palette:** indicative tree, shrub, ground cover and accent plant species, together with intended size at time of planting.

**GUIDELINE**

*This condition outlines the minimum requirements of any landscaping plan submitted for the site to ensure landscaping of the site is to a high standard.*

**Engineering**

	Timing
<p><b>92) MINIMUM HABITABLE FLOOR LEVELS</b></p> <p>All proposed residential buildings are to be designed in accordance with Council's "Subdivision and Development Guidelines" to ensure that minimum habitable floor levels are 500 mm above the 100 year (ARI) flood level (river and creek flooding) or 500 mm above the 50 year (ARI) (overland flow level) whichever is the greater.</p> <p>Minimum non-habitable floor levels are to be not less than 50 year (ARI) or 100 year (ARI) flood levels (which ever is the greater).</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when the site is affected by flooding. The 100 year ARI event is applicable to river and/or creek flooding. If the catchment is localised, the 50 year ARI event will be applicable unless the site is also affected by creek or river flooding in which case the higher flood level is used. For any other enquiries about this condition, please contact the Engineering Officer.</i></p>	<p>Prior to lodging an application for Building Works</p>



Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	
Stage:	Queensland Transport & Translink

**General/Planning Requirements**

	Timing
<b>93) CONCURRENCE AGENCY CONDITIONS</b>  Brisbane City Council advise that Queensland Transport as concurrence agency has imposed the conditions contained in the letter dated 21/08/2006 Reference No 890/1115(13) BRIS-83 P20260. For any enquiries concerning these conditions contact Adrian Doley on (07) 3117 5503.	As indicated

Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Multi-Unit Dwelling Park
Stage:	STAGE 1 Residential: Multi Unit Dwelling - Buildings E & F, and Park

**General/Planning Requirements**

	Timing
<p><b>94) Overall Height Requirements</b></p> <p>The overall height of the proposed buildings are to be in accordance with the following requirements:</p> <p>a. Construct the floor levels generally in accordance with the floor levels on the approved elevations and sections 00-DA0003 rev G, amended in red 7 March 2007, 41-DA1600 rev G, 41-DA1601 rev F, 31-DA1600 rev G, 31-DA1601 rev G, with the maximum building height (including lift overruns, roof plant, and 'pop-up' structures) not to exceed the following:</p> <p><b>Minimum Habitable Floor Level: 8.40 AHD</b></p> <p><b>Car Park Podium: 15.00 AHD</b></p> <p><b>Building E: 45.52 AHD</b></p> <p><b>Building F: 42.50 AHD and 31.50 AHD for the stepped section to level 7</b></p> <p>b. Submit certification from a licensed surveyor that the as-constructed floor levels and maximum building heights are in accordance with <u>part (a)</u> of this condition. This information is to be submitted to the Delegate, Development Assessment Team.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure the floor levels and maximum overall height of the proposed building is in accordance with the development approval. The relaxation of the maximum height limit is to permit a minor encroachment of the roof line. This encroachment shall not exceed 200mm and is only permitted for the area shown on the approved plan and is not to extend further than this area. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i></p>	Prior to commencement of use
<p><b>95) Disabled Access</b></p> <p>Construct pedestrian circulation walkways from the street frontage to the foyer/lift doors of the development in accordance with AS 1428 Parts 1 - 4 Australian Standard for Access and Mobility with particular regard to:</p> <p>i. Ramping requirements (including gradients and slip resistance);  ii. Handrail requirements;  iii. Visual impairment requirements for changes in gradient; and  iv. Tactile tiling in a visually contrasting colour to both sides of the driveway crossover.</p> <p><b>GUIDELINE</b></p>	Prior to the commencement of the use and then to be maintained

<p><i>This condition is imposed to ensure external access areas are appropriately designed and constructed for the all users. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i></p>	
<p><b>96) Solar Protective Glazing</b> Provide solar protective / solar protected glass where screening devices are not provided to windows having a western aspect.</p> <p><b>GUIDELINE</b> <i>This condition is imposed to ensure an appropriate level of climatic control to provide a comfortable internal living environment. For any enquiries about this condition, please contact Architect Assessment.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>97) Stormwater Runoff from Balcony</b> Stormwater runoff from each individual terrace/balcony, is to be collected internally from the centre of that balcony and be discharged to the internal stormwater drainage system for the site.</p> <p><b>GUIDELINE</b> <i>This condition is imposed to minimise the potential for run off from the balconies onto the park users and to avoid the water stain marks associated with drainage from balconies directly onto the side wall of buildings.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>98) Energy Efficiency</b> This condition has been deleted as it is no longer applicable.</p>	<p>As indicated</p>
<p><b>99) Light Reflectivity and Solar (Heat) Reflectivity</b></p> <p>Submit to the Delegate, Development Assessment documentary evidence that:</p> <ul style="list-style-type: none"> <li>a. The level of light reflectivity from the approved development will not exceed 20 percent; and</li> <li>b. The level of solar (heat) reflectivity from the approved development will not exceed 20 percent.</li> </ul> <p><b>GUIDELINE</b> <i>This condition is imposed to protect the amenity and appearance of the surrounding area from adverse impacts such as heat transmission and light reflectivity arising from the use of excessively reflective glass in building facades.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>100) Information Signage</b></p> <p>Prior to any works commencing on the site and then to be maintained until completion of the development, erect an 'Information Sign' to the road frontage/s of the site as outlined below: -</p> <ul style="list-style-type: none"> <li>a. A brief description of the proposed development;</li> </ul>	<p>As indicated</p>

<p>b. The sign/s is/are to list the name, postal and/or email address and a contact telephone number for each of the following parties (where relevant) that are undertaking work on the site: -</p> <p>Developer, Project Coordinator, Architect / Building Designer, Building Contractor, Civil Engineer, Civil Contractor/s, Landscape Architect, and <b>Asbestos Removal Specialist (and registration/licence number)</b>;</p> <p>c. The lettering on the sign is to be at least 25mm in height, be of regular weight and in sentence case;</p> <p>d. The sign is to be a minimum size of 1,200mm by 900mm;</p> <p>e. The maximum area of the sign is to be 2.0m<sup>2</sup>.</p> <p>f. The sign must be placed on or within 1.5m of the road frontage for the land and mounted at least 300mm above ground level;</p> <p>g. If the land has more than one road frontage, the information sign must be placed on each road frontage for the land;</p> <p>h. The sign is to contain no commercial or corporate advertising other than the name, logo or slogan of the parties outlined in Part (b) of this condition;</p> <p>i. The sign is to be non illuminated;</p> <p>j. Both the sign and the supporting structure are to be made of weatherproof material and to be properly maintained at all times;</p> <p>k. The sign(s) is/are to be located on the subject property and is/are to comply with the General Requirements for Signage contained within the Local Laws Policy "Control of Outdoor Advertising", specifically with regard to Traffic Safety, Clearances and Structural Systems.</p> <p>Prior to erection of the sign(s), submit a copy of the wording and the dimensions of the proposed sign(s) to Council for endorsement.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that the public is provided with information regarding the development during construction stage. Where signage is erected in accordance with the Permitted Advertisement Provisions contained within the Local Laws Policy "Control of Outdoor Advertising", the display of the sign is exempt from the making of an application and payment of fees to Council, and the need for a licence.</i></p>	
<p><b>101) External Materials, Colours and Finishes</b></p> <p>Prior to issuing the relevant Development Permit for Building Works, submit to the satisfaction of the Principal Lead Planner, Development Assessment Team South, the following plans and details showing the facade treatments and external materials colours and finishes:</p> <p>a. A colour scheme showing materials and finishes to buildings E and F in accordance with the materials details noted on the approved plan(s) &amp; drawing(s);</p> <p>b. Notwithstanding the requirements of part (a) of this condition and the notation on the approved plans and drawings, the materials and finishes of the buildings must be high quality pre-finished materials and included with details required to be submitted by this condition;</p> <p>c. The Schedule is to be submitted as a sample board including materials and actual paint swatches of the proposed external paint colours and accompanied by Coloured elevations and a written tabulation of how particular parts of the structure and ancillary finishes are to be finished;</p> <p>d. Implement the above approved detailed design treatments.</p> <p><b>GUIDELINE</b></p>	<p>As indicated</p>

<p><i>This condition is intended to ensure that the colours and materials used are appropriate for the intended character and image for the surrounding area. The requirement is intended to avoid a built form and street character that is dominated by glass surfaces, that increases local affects from reflectivity, glare and heat.</i></p>	
<p><b>102) Copy of Approval to Consultants</b></p> <p>Provide a copy of the Brisbane City Council approval package including the development approval conditions, approved plans &amp; documents and the Decision Notice to the following and as indicated(where applicable):</p> <ul style="list-style-type: none"> <li>a. All consultants preparing or lodging applications for "Operational Works",</li> <li>b. All consultants preparing or lodging applications to satisfy conditions requiring compliance assessment under Schedule 12 of the <i>Integrated Planning Regulation 1998</i>;</li> <li>c. Prior to lodging a development permit for building works, all consultants preparing or lodging applications for "Carrying Out Building Works"; and</li> <li>d. <i>Prior to site works commencing, all contractors carrying out site works or building works associated with or resulting from this Development Permit.</i></li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that all consultants, contractors and Building Certifiers involved with completing the development are aware of the particular requirements of this site.</i></p>	<p>As indicated</p>
<p><b>103) Pre-Start Meeting</b></p> <p>Prior to site/building works commencing for each stage, undertake an on-site Pre Start meeting</p> <ul style="list-style-type: none"> <li>a. Co-ordinate the attendance of the relevant <b>development/building/ arborist/ site consultants and contractors</b> with the following Brisbane City Council Officers or their nominated representatives: <p><b>Principal Engineer</b>, Development Assessment Team South,  Development Assessment, <b>Landscape Architect</b>, Development Assessment Team South, Development Assessment, <b>Principal Lead Planner</b>, Development Assessment Team South,  Development Assessment</p> <li>b. This meeting is requested to discuss relevant site/building/operational work requirements for each stage, including but not limited to: <ul style="list-style-type: none"> <li>o Landscape Management and Site Works Plan (Riverwalk, Parkland and Private Land)</li> <li>o Special Vegetation Management Plan</li> <li>o Streetscape Works Plan</li> <li>o Construction Management Plan</li> <li>o Event Management Plan</li> <li>o Construction parking</li> <li>o Road &amp; Footpath Closure Permits and other additional permits</li> <li>o Public &amp; Workplace Safety</li> <li>o Maintenance of a pedestrian and cyclist thoroughfare through the site</li> </ul> </li> </li></ul>	<p>As indicated</p>

<ul style="list-style-type: none"> <li>○ Compliance with Council's Erosion and Sediment Control Guidelines relating to earthworks on a construction site</li> <li>○ Tree protection measures</li> <li>○ Relocation of existing services</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area. Please telephone 3403 8888 to arrange a suitable meeting time.</i></p>	
<p><b>104) Endorsement of Community Mangement Statement</b></p> <p>The Community Management Statement (CMS) for Buildings E &amp; F will not be endorsed by Council until the east-west access road linking Softstone Street with Fairfield Road is dedicated as road.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure an orderly development sequence for the residential buildings and the Tennyson Riverside Parkland.</i></p>	As indicated
<p><b>105) Approved Drawings &amp; Documents</b></p> <p>A legible copy of the approved drawings and documents bearing "Council Approval" and the Development Approval Conditions package is to be available on site at all times during construction and earthworks.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure compliance with the development conditions of approval. The copy of the conditions and plans should be located in any site management office or with the site foreman. Any copies of conditions or plans that are illegible shall be deemed to be non compliance with this condition of approval.</i></p>	As indicated
<p><b>106) Site works to be undertaken</b></p> <p>Prior to building work for the proposed building commencing on the site undertake the following works.</p> <ul style="list-style-type: none"> <li>a. Remove the existing buildings on the site; and</li> <li>b. Cap all services to the building and stabilise the exposed ground surface with grass seeding.</li> <li>c. Where buildings are demolished and, for whatever reason, redevelopment is delayed for more than 3 months, the following works are carried out: <ul style="list-style-type: none"> <li>• site is cleared of all rubble, debris and demolition materials;</li> <li>• site is levelled to the same level as the adjoining footpath and turfed so it can be mowed;</li> <li>• site is landscaped with perimeter planting consisting of advanced specimens of fast growing species in accordance with the Planting Species Planning Scheme Policy;</li> <li>• drainage is provided to prevent ponding;</li> <li>• site is maintained so there is no sediment run off onto adjacent</li> </ul> </li> </ul>	As indicated

<ul style="list-style-type: none"> <li>◦ premises, roads or footpaths;</li> <li>◦ site is maintained to ensure no nuisance to adjacent premises, roads or footpaths; and</li> <li>◦ public access is provided where public safety can be maintained</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that all structures are removed or relocated appropriately to ensure that no future legacy remains for the ultimate property owners. It should also be noted that the removal of structures includes the removal of all existing concrete slabs and foundations and footings of any removed structures.</i></p>	
<p><b>107) Carry Out The Approved Development</b></p> <p>Carry out the approved development generally in accordance with the approved documents and drawings as amended in red.</p> <p><b>GUIDELINE</b>  <i>This condition refers to the approved plans, drawings and documents to which the approval relates and is the primary means of defining the extent of the approval. Approved plans, drawings and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of approval of the application by Council's Delegate.</i></p>	<p>While development is occurring on the site and then to be maintained</p>
<p><b>108) Complete All Building Work</b></p> <p>Complete all building work associated with this development approval, including work required by any of the following conditions. Such building work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents and, where the building work is assessable development, in accordance with a current development permit.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all building work associated with the use are in place before the use commences. It is not appropriate that the site be used without such work being completed. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you therefore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	<p>Prior to commencement of use</p>
<p><b>109) Complete All Operational Works</b></p> <p>Complete all operational work associated with this development approval, including work required by any of the following conditions. Such operational work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents or, if requiring a further approval from the Council, in accordance with the relevant approval(s).</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all operational works associated with the use are completed before the use commences. It is not appropriate</i></p>	<p>Prior to commencement of use</p>

<p><i>that the site be used without such work being completed in accordance with any detailed design approvals. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you therefore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	
<p><b>110) Park Access</b></p> <p>Access to Tennyson Riverside Parkland and Pedestrian walkway:</p> <p>No additional pedestrian access to or from the site to the riverside parkland is to be provided other than in the locations as shown on the approved plan(s) and documents;</p> <p><b>GUIDELINE</b>  <i>This condition has been imposed upon the proposed development as Council has determined that direct access to the adjoining Council parkland needs to be restricted. This is to reduce pedestrian/cyclist conflict and to ensure any future works and/or use requirements of the Council parkland are not prejudiced. For any enquiries regarding this condition please contact the Assessment Manager.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>111) Maintain the Approved Development</b></p> <p>Maintain the approved development (including landscaping, parking, driveways and other external spaces) in accordance with the approved drawing(s) and/or documents, and any relevant Council engineering or other approval required by the conditions.</p> <p><b>GUIDELINE</b>  <i>This condition restricts changes that can be made to the approved development. Approved plans and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of determination of the application by the Council's delegate. The extent to which plans can be modified is constrained by the definition of 'minor change' in schedule 10 and the requirements of section 3.5.24 of the "Integrated Planning Act 1997". It will be necessary to make a new application if the change is not a minor change. For any enquires about this condition, please contact the Assessment Manager.</i></p>	<p>To be maintained</p>
<p><b>112) Public Artworks</b></p> <p>Any artwork proposed to be provided in the Tennyson Riverside Parkland is to be designed in accordance with the Public Riverside Facilities Design and Maintenance Guidelines and satisfy the following criteria;</p> <ol style="list-style-type: none"> <li>1. Be suitable for the setting in terms of design, choice of materials, durability and resistance to vandalism; and,</li> <li>2. Be satisfactory to the owner/developer of the subject site and the Delegate, Development Assessment.</li> </ol> <p>Details of the location and nature of the proposed artworks are to be included in the detailed Landscape Plan and approval of the Delegate is to be obtained prior to installation of such works.</p>	<p>As indicated</p>



<p><b>GUIDELINE</b>  <i>This condition recognises the importance of the proposed development and is intended to ensure that artwork will enhance the development and the Tennyson Riverside Parkland.</i></p>	
<p><b>113) Access Easements</b></p> <p>The following access easements are to be <b>created and surrendered upon completion of Stage 2 (Building D), or at the time of the endorsement of the Community Management Statement for Building D:</b></p> <ol style="list-style-type: none"> <li>1. Easement H in Lot 2 SP195275 - a temporary easement in favour of the Body Corporate to allow certain lot owners in Stage 1 (Building's E and F) to use a specific number of car park spaces (10) located on Lot 2 SP195275. Upon completion of Building D and the subdivision of Lot 2 by a Building Format Plan, the relevant carparking spaces will become Common Property and subject to the exclusive use by-laws attaching to the relevant lots, and the easement will be surrendered.</li> <li>2. Easement E in Lot 2 SP195275 - a temporary easement in favour of the Body Corporate for the purposed of right of way and services, and which will be surrendered upon the completion of Stage 2 (Building D - Lot 2 SP195275), or at the time of the endorsement of the Community Management Statement for Building D:</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to enable access to parking spaces located within Lot 2 on SP195275 and right of way services prior to the completion of Building D</i></p>	<p>As indicated</p>
<p><b>114) Gymnasium</b></p> <p>The condition regarding the location and use of the gymnasium has been modified and relocated to a separate component of the DA approval.</p>	<p>As indicated</p>
<p><b>115) Community Management Statement</b></p> <p>Any Community Management Statement for the site is to contain the following requirements:</p> <ol style="list-style-type: none"> <li>a. All balconies and terraces shown on the approved drawings and documents, are to remain unenclosed with no shutters, glazing, louvres or similar permanent structures other than those consistent with the relevant "Brisbane City Plan 2000 - Residential Design-High Density Code", and clearly depicted on the approved drawings.</li> <li>b. The visitor parking spaces are to remain available for use by all bona-fide visitors, guests or invitees of the site's tenants.</li> <li>c. Provision on site for a minimum of 230 resident/tenants parking spaces.</li> <li>d. Provision on site for a minimum of 29 visitor parking spaces not included within any exclusive use area.</li> <li>e. All external visitor parking bays on the site are to freely available to</li> </ol>	<p>As indicated</p>

- bona-fide visitors to the State Tennis Centre or Tennyson Riverside Parkland for a maximum period of 6 hours every 24 hours;
- f. One (1) visitor parking space is to be provided and signed for exclusive use by the On-Site Manager Unit, located in Building D.
  - g. Visitor parking bays, including exclusive use visitor bays, are not to be fitted with a roller door, gate or similar device preventing access to visitor parking bays.
  - h. No gates or similar devices are to be placed at the vehicle entry of the development preventing vehicle access to the site.
  - i. No part of Buildings E and F are to be used for an On-Site Managers Unit.
  - j. Screening for any externally mounted airconditioning or mechanical plant installations in accordance with the following requirements:
  - k. No unscreened installations on the proposed development are to be visible from the surrounding sites; and
  - l. Any installations which are required to be located on roof, wall or garden areas are to be appropriately screened or shaped according to the acoustic requirements of this development package and so as to integrate in a complementary manner with the overall design of the roof, wall or garden area in which the installation is to be located.
  - m. That the gym is to be:
  - n. located within Common Property;
  - o. be restricted for use by residents, guests and invitees of the residential unit owners and/or tenants; and
  - p. is not to be used for commercial uses other than management/letting activities associated with the Common Property.
  - q. Stormwater runoff from each individual terrace/balcony, is to be collected internally from the centre of that balcony and be discharged to the internal stormwater drainage system for the site.
  - r. All sealed traffic areas must be cleaned as necessary to prevent emissions of particulate matter.
  - s. Maintain a directional visitor parking sign at the vehicle entrances to the site adjacent to or clearly visible from the vehicle entrance to the site
  - t. The use of the pool, and pool surrounds are to be used only between the hours of 6am to 10pm seven days a week.
  - u. Maintain the acoustic damping of any metal grills, metal plates or similar subject to vehicular traffic to prevent environmental nuisance.
  - v. Noise levels for the pool filter and pump are to comply with the Environmental Protection Agency noise levels as stated in Section 6Y(1) of the Environmental Protection Regulation 1998 as amended from time to time;
  - w. The installation and maintenance of the sustainable elements outlined within the conditions of this approval package;
  - x. Any noise complaints associated with the Restaurant Tenancy in Building D are to be addressed by the Body Corporate; and
  - y. The adjusted average maximum sound pressure level from amplified music associated with the restaurant tenancy in building D when measured at any sensitive land use must not exceed the A-weighted background sound pressure level ( $L_{A_{bg,T}}$ ) by more than the following amounts:
    - o between 7am and 10pm - the adjusted maximum sound pressure level  $L_{A_{10}}$ , plus adjustments for tonal and impulsive components, exceeding the background level  $L_{A_{90}}$  by more than 10dB(A).
    - o between 10pm and 7am - the sound pressure level  $L_{OCT10}$  in a full octave band with centre frequencies from 63Hz to 2000Hz, exceeding the background  $L_{OCT90}$  by more than 8dB in any octave band.

<p><b>GUIDELINE</b>  <i>This condition is imposed to ensure the ongoing operation, appearance and maintenance of the development under a Community Management Statement is in accordance with the development permit and the approved plans and documents. For any enquiries about this condition, please contact the Assessment Manager. This condition also acknowledges an agreement between the developer and owner of the site at the time the application was made to permit parkland and State Tennis Centre uses to use the external visitor parking bays.</i></p>	
<p><b>116) Relevant Period For Application</b>  All aspects of development as outlined within this section, to which the conditions relate in the "Development Approval Package", are to be completed before midnight on 30 November 2010.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed pursuant to 3.5.21A(2)(a) of the Integrated Planning Act 1997. The intent of this condition is to specify the particular time assessable development or an aspect of assessable development is to be completed before the development lapses. Any extension of the period stated in the condition is required to be made in accordance with Sections 3.5.22 and 3.5.33 of the Integrated Planning Act.</i></p>	As indicated
<p><b>117) Land To Be Transferred to Council</b></p> <p>Any land transferred to the Council for Public Purposes (Parkland or Community Facilities) and/or for Road Purposes is not to be on the Environmental Management Register and or the Contaminated Land Register, unless agreed to by the future asset owner.</p> <p>Work within the area of the easement adjacent to the proposed roundabout on the east-west access road is to be carried out generally in accordance with Detail Cross Sections Through Access Road - Services Through Easement drawing number 00-SK0049 revision B prior to dedication of the road to Council..</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure the condition of the land is of a standard acceptable to the future asset owner.</i></p>	As indicated
<p><b>118) Privacy Screens</b></p> <p>Construct and maintain the residential development to include the following:</p> <ol style="list-style-type: none"> <li>Fixed, external privacy screens or fixed obscure glazing to the upper floor windows as shown on the approved plans 31-DA1030-Rev D, 31-DA1040-Rev C, 31-DA1041-Rev D, 41-DA1030-Rev E, 41-DA1040-Rev E and 41-DA1041-Rev D;</li> <li>Fixed privacy screens up to 1.8 metres above floor level to the balconies as shown on the approved plans;</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to identify important design details of the dwelling or where these necessary design details are not indicated on the approved plans.</i></p>	Prior to the commencement of the use and then to be maintained

<p><b>119) Fencing, Retaining Walls and Mechanical Ventilation</b></p> <p>All fencing, retaining walls, mechanical ventilation constructed to the Tennyson Riverside Parkland boundary of the site shall be generally in accordance with the following:</p> <p><u>a. Fencing</u></p> <p>All fencing (including footings/foundations and maintenance course) is to be a maximum height from finished ground level of 1.8 metres; and</p> <p>The 1.8 metre high fence is to be of semi transparent design (75% transparency) fence along the dwelling units and terrace /recreational area facing the park as indicated on the approved plans. The colour of fencing shall blend with the landscape area ie. earthy tonal colours, so as not to detract from the riverscape or be visually intrusive when viewed from the Brisbane River.</p> <p><u>b. Retaining Walls</u></p> <p>No retaining walls are to be constructed along the riverside park boundary; and</p> <p>Where retaining walls are proposed within the landscape setback from the Tennyson Riverside Parkland, the retaining wall shall be screened and coloured such that they blend with the landscape area, ie. having earthy tonal colours, so as not to detract from the riverscape or be visually intrusive when viewed from the Brisbane River.</p> <p>(Note: the requirements of this condition do not apply to the proposed revetment wall along the river frontage of the park as shown on the approved drawings.)</p> <p><u>c. Mechanical Ventilation/Exhausts</u></p> <p>No mechanical ventilation/exhausts are to be constructed along the Tennyson Riverside Parkland boundary including any pedestrian walkway; and</p> <p>Where mechanical ventilation/exhausts are proposed within the landscape setback from the riverside park, the structure shall be screened and coloured such that they blend with the landscape area, ie. having earthy tonal colours, so as not to detract from the riverscape or be visually intrusive when viewed from the Brisbane River.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure visual privacy between the development and adjoining properties and to minimise the impacts on the visual amenity when the development is viewed from the public parkland. This condition is also imposed to ensure that the design and height of the fence will enable adequate surveillance between the park and the residential units. The fencing within each stage must be erected and completed prior to the commencement of the use of that stage of the development.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>120) Pool Filter and Pump</b></p>	<p>Prior to the commencement of</p>

<p>Provide an enclosure around the pool filter and pump. The enclosure is to be sealed block work with concrete lid, solid door mounted in a steel frame built into the block work with acoustic seals to all four edges of the door. If ventilation is required these must be acoustically treated grilles.</p> <p><b>GUIDELINE</b> <i>This condition is to ensure that acoustic levels are maintained so as to protect the amenity of adjoining land owners.</i></p>	<p>the use and then to be maintained</p>																				
<p><b>121) Use of Pool Pump</b></p> <p>Use of the Pool pump and pool filter are to comply with the following:</p> <p>a. Noise levels for the pool filter and pump are to comply with the Environmental Protection Agency noise levels as stated in Section 6Y(1) of the Environmental Protection Regulation 1998 as amended from time to time.</p> <p>b. The use of the pool, and pool surrounds are to be used only between the hours of 6am to 10pm seven days a week.</p> <p><b>GUIDELINE</b> <i>This condition is imposed to minimise any nuisance effects of the pool to adjoining residents. Hours are as specified in discussions with adjoining land owners.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>																				
<p><b>122) Sustainability</b></p> <p>The following sustainable features are to be installed and maintained within the proposed development (as indicated):</p> <table><tr><td rowspan="5"><b>Individual privately-owned units</b></td><td>Toilets</td><td>4-Star rated dual flush</td></tr><tr><td>Showers</td><td>3-Star rated showerhead</td></tr><tr><td>Basin &amp; Sink Taps</td><td><ul style="list-style-type: none"><li>4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</li><li>No 'insinkerators' are to be installed</li></ul></td></tr><tr><td>Smart Water Meters</td><td>Install water meters to each unit to monitor water usage (this does not replace the Council water meter)</td></tr><tr><td>Dishwasher</td><td>4-Star rated dishwasher</td></tr><tr><td rowspan="4"><b>Body Corporate-managed areas</b></td><td>Basin &amp; Sink Taps</td><td>4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</td></tr><tr><td>Pool</td><td>Pool covers are to be provided and maintained to any swimming pools or spas installed</td></tr><tr><td>Pressure limiting devices on domestic water service lines</td><td>Pressure reducing valves set to a maximum of 300kPa. Valves installed to serve clusters of units with a minimum of 1 valve per floor level</td></tr><tr><td></td><td><ul style="list-style-type: none"><li>Subsurface or microjet spray/dripper system and</li></ul></td></tr></table>	<b>Individual privately-owned units</b>	Toilets	4-Star rated dual flush	Showers	3-Star rated showerhead	Basin & Sink Taps	<ul style="list-style-type: none"><li>4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</li><li>No 'insinkerators' are to be installed</li></ul>	Smart Water Meters	Install water meters to each unit to monitor water usage (this does not replace the Council water meter)	Dishwasher	4-Star rated dishwasher	<b>Body Corporate-managed areas</b>	Basin & Sink Taps	4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps	Pool	Pool covers are to be provided and maintained to any swimming pools or spas installed	Pressure limiting devices on domestic water service lines	Pressure reducing valves set to a maximum of 300kPa. Valves installed to serve clusters of units with a minimum of 1 valve per floor level		<ul style="list-style-type: none"><li>Subsurface or microjet spray/dripper system and</li></ul>	<p>Prior to the commencement of the use and then to be maintained</p>
<b>Individual privately-owned units</b>		Toilets	4-Star rated dual flush																		
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		<ul style="list-style-type: none"><li>Subsurface or microjet spray/dripper system and</li></ul>																			

	Irrigation system	controlled using soil moisture sensors <ul style="list-style-type: none"> <li>• Programmable irrigation controller with rain sensor</li> <li>• Sub water meters on irrigation supply line</li> </ul>
	Outdoor taps	<ul style="list-style-type: none"> <li>• Trigger nozzles on all outdoor hoses</li> <li>• 3-Star rated flow regulating devices installed in pipework upstream of all outdoor taps</li> </ul>
	Rainwater tank	<ul style="list-style-type: none"> <li>• Rainwater storage tank(s)</li> <li>• Rainwater tank plumbed into irrigation system</li> <li>• Rainwater tank plumbed into any pool top-up</li> <li>• Rainwater tank plumbed into car / bin washing area</li> </ul>
	Smart Water Meters	Install water meters to the water supply servicing the Body Corporate areas to monitor water usage (this does not replace the Council water meter)
<p><b>GUIDELINE</b>          This condition is imposed to ensure that the development is sustainable in terms of careful and efficient use of water utilising current best practice. This condition acknowledges that an installation of the clothes washer may not be provided by the developer.</p>		
<p><b>123) On-Site Managers Unit</b></p> <p>The use of the site for the purposes of an On-Site Managers Unit is to be located on the site within Building D, as shown on Approved Plans 51-DA1042 Rev F "Gross Floor Area Calcs L01, Building D" and 51-DA1011 Rev H "Development Approval General Arrangement Plan Building D - Level 01" (amended in red).</p> <p><b>GUIDELINE</b>          This condition is imposed to identify the location of the On-Site Managers Unit.</p>		To be maintained

#### Monetary Contributions and Securities

	Timing
<p><b>124) Pay Outstanding Charges or Expenses</b>          Pay to Council any outstanding charges or expenses levied by the Council over the subject land.</p> <p><b>GUIDELINE</b>          This condition is imposed to ensure that there are no outstanding charges existing over the subject site, including outstanding rates. If there are outstanding monies, they must be paid prior to commencement of the use.</p>	Prior to commencement of use

**125) Water Headworks**

Pay to Council a monetary contribution towards the cost of water headworks, as outlined below, **at the rate prevailing when the contribution is paid.** *This payment must be made prior to the issue of a plumbing compliance permit for the site.*

The contribution is calculated on 101.7 ETs (Equivalent Tenement) at the current rate of \$4,729.00 per ET, for Water System Infrastructure Charges Plan Area - Mt Crosby South W9. A credit for the existing use on the site has been included in this calculation.

The amount payable is currently assessed at \$480,939.30 and comprises of the following:

Treatment Headworks component:	\$94,752.00
Distribution Headworks component:	\$381,931.20
Total contribution:	\$476,683.20

This headwork charge is the **current rate for the 2006/2007 financial year.**

**GUIDELINE**

*This condition is imposed to require the payment of a proportional contribution towards a satisfactory water supply treatment system to the site. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.*

Prior to the permanent water/sewer connection being made to the site or prior to endorsement of a community management statement, whichever is sooner

**126) Sewerage Headworks**

Pay to Council a monetary contribution towards the cost of sewerage headworks, as outlined below, **at the rate prevailing when the contribution is paid.** *This payment must be made prior to the issue of a plumbing compliance permit for the site.*

The contribution is calculated on 113 ETs (Equivalent Tenement) at the current rate of \$4,494.00.00 per ET, for Sewerage Scheme Charge Area - S2 - MLBN01. A credit for the existing use on the site has been included in this calculation.

The amount payable is currently assessed at \$507,822.00 and comprises of the following:

Treatment Headworks component:	\$169,568.00
System Headworks component:	\$333,760.00
Total contribution:	\$503,328.00

This headwork charge is the **current rate for the 2006/2007 financial year.**

Prior to the permanent water/sewer connection being made to the site or prior to endorsement of a community management statement, whichever is sooner

**GUIDELINE**

*This condition is imposed to require the payment of a proportional contribution towards a satisfactory sewerage treatment system within the locality of the site. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.*

**Architecture**

	Timing
<b>127) Balconies &amp; Terraces - Unenclosed</b> Treatment of balconies and terraces. All balconies and terraces shown on the approved drawings and documents, are to remain unenclosed with no shutters, glazing, louvres or similar permanent fixtures other than those consistent with the relevant "Brisbane City Plan 2000 - Residential Design - High Density Code" and clearly depicted on the approved drawings.  <b>GUIDELINE</b> <i>This condition is imposed to minimise bulk and protect the appearance of the development within the area. For any enquiries about this condition, please contact the Assessment Manager, Development Assessment.</i>	Prior to the commencement of the use and then to be maintained
<b>128) Screening to Ext. Air Con or Mechanical Plant</b>  Provide screening for any externally mounted airconditioning or mechanical plant installations in accordance with the following requirements: <ul style="list-style-type: none"> <li>i. No unscreened installations on the proposed development are to be visible from the surrounding sites; and</li> <li>ii. Any installations which are required to be located on roof, wall or garden areas are to be appropriately screened or shaped according to the acoustic requirements of this development package and so as to integrate in a complementary manner with the overall design of the roof, wall or garden area in which the installation is to be located.</li> </ul> <b>GUIDELINE</b> <i>This condition is imposed to ensure appropriate visual outcomes in relation to mechanical plant areas. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i>	Prior to the commencement of the use and then to be maintained

**Ecology**

	Timing
<b>129) Vegetation Management Plan</b>  Protect and enhance existing vegetation, fauna and habitat features on the subject site. <ul style="list-style-type: none"> <li>a. Submit a Vegetation Management Plan (VMP) and obtain approval from the Delegate, Development Assessment. The VMP is to be in the form of scaled plans and supporting documentation generally in accordance with Vegetation Retention Plans BO4254-SK70 &amp; SK71 and associated schedules that includes at least the following information:</li> </ul>	To be lodged prior to or concurrently with any other operational works application



<ul style="list-style-type: none"> <li>○ The extent of the VMP is to include evaluation of all areas including, proposed road reserves, external works and development areas;</li> <li>○ The location and description of existing vegetation including species and botanical name plus the height and canopy spread;</li> <li>○ The location and extent of all site works including all proposed infrastructure and areas of earthworks.</li> <li>○ Detail design of all civil works is to be cognisant of environmental values. Alternative solutions may be required in some instances, to protect significant vegetation (eg alternative service alignments, variations to batter slopes and tunnel boring);</li> <li>○ The location and description of all vegetation to be retained and that to be removed;</li> <li>○ A description of all measures to be used to protect vegetation and habitat features to be retained during construction;</li> <li>○ A description of all pruning and tree surgery works (to AS 4373/96) to maintain health and stability of trees and reduce potential hazards for future residents;</li> <li>○ The location and extent of storage and stockpile areas for cleared vegetation and site mulch;</li> <li>○ A description of all methods to salvage and/or re-use cleared vegetation. Generally cleared vegetation is to be mulched for reuse in landscape/rehabilitation works; and</li> <li>○ Details of all measures to protect and recover fauna during clearing operations, including; presence of a qualified wildlife officer during clearing operations, preclearing inspections, staging and sequence of clearing and recovery procedures.</li> </ul> <p>b. Arrange a pre-start meeting with the Delegate, Licensing and Compliance;</p> <p>c. Protect, enhance and manage vegetation by implementing the requirements and carrying out the works in accordance with the approved VMP.</p> <p><b><i>GUIDELINE</i></b>  <i>This condition is imposed where the site contains vegetation, fauna and habitat features that should be retained, protected and/or managed as part of the development of the site. Before carrying out any site works it will be necessary to obtain a detailed design approval from the Council by submitting an application accompanied by a Vegetation Management Plan. Once the works are implemented, it will be necessary to arrange for the Delegate, Licensing and Compliance, Development and Regulatory Services, to inspect and approve them. For enquiries about this condition, please contact the Ecologist, Development Assessment.</i></p>	
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### Landscape Architecture and Open Space Planning

	Timing
<p><b>130) Parkland Landscape Management Plan</b></p> <p>Undertake and maintain the following Landscape Management and Site Works within the proposed Parkland as indicated below:</p> <p>a. Submit a Landscape Management and Site Works Plan for the works proposed in the Council parkland and obtain approval from the Delegate, Development Assessment. This plan is to be lodged prior to or concurrently with any other operational works application. This plan is to be generally in accordance with the Landscape Master Plan dated July 2006 as amended in red, and is to include the following:</p>	<p>As Indicated</p>

A description of existing site conditions and proposed site preparation, including:

Existing contours and proposed finished levels including sections across and through the parkland at critical points;

Location of all underground services existing within the proposed parkland (eg. the depth and route of any drainage, water reticulation, sewerage, electricity, gas, telecommunications etc.);

Location of existing vegetation in the parkland including species names, height and spread of canopy and clearly indicating vegetation to be retained and provide the reasons for removing or disturbing other vegetation. Where pathway locations conflict with significant vegetation then they area to be relocated. Specify methods of recycling vegetation where possible;

Location and description of any vegetation and landscape features on adjoining properties with the potential to impact upon the proposed parkland. Also include the location and description of all existing and proposed fencing and retaining walls within and abutting the parkland;

Demolition work of any kind to be carried out within the parkland;

Any feature of cultural or heritage significance within the parkland;

Location, extent and comprehensive details, including cross-sections of permanent and temporary water bodies/courses, drainage and stormwater works, and

Proposed stormwater structures that will mitigate the impacts of stormwater flows within the parkland.

Identification of a general scope of work, including the following:

Removal of weed species, barbed wire, building materials, rubbish, debris and other obstacles which may present a public liability risk;

Provision of erosion control measures where required;

Provision of a 25mm reticulated water service to the park;

Provision of a power connection to the park;

Indication of protection measures from damage for existing vegetation to be retained;

Construction (prior to the commencement of works) of a star picket fence around the proposed parkland to protect from vehicular damage and storage of materials. The fence is to be inspected by the Delegate, Licensing and Compliance, and remain on-site until Practical Completion (On-maintenance);

Construction of vehicular barriers/bollards along park frontages to prevent unauthorised vehicular access to the

park;

Provision of a lock-rail access point for maintenance vehicles to each road frontage;

Specifications, contours and levels for any proposed bikeways, footpaths, roadways and parking in the proposed parkland;

Proposed building and development works including location of all services, park furniture, picnic facilities and play equipment etc.;

Surface treatments and extent of proposed planting;

Topdressing and planting with perennial grasses of all open areas, grassing is to achieve 80% coverage at the time of Practical Completion (On-maintenance);

A Plant Schedule itemising all proposed plants by botanical name and specifying total plant numbers and size at the time of planting.

Site specific works:

**Demonstrate compliance with Brisbane City Council's "Public Riverside Facilities Design and Maintenance Manual", dated July 2003;**

All furniture to be supplied in accordance with Council's preferred supply list and to the satisfaction of the Landscape Architect Development Assessment South;

Provide details of proposed pavement treatments to landscape areas for stormwater infiltration;

Provide details of proposed pedestrian handrails and barriers to river edge interfaces;

Provide details of any proposed fencing interfaces with adjoining land. Where fences abut adjoining council land they are to be a minimum of 50% transparent pool style fencing;

Provide heights, extent and locations of proposed retaining walls. Propose retaining walls within the public realm are to be less than 1m high;

Provide details of proposed bicycle / pedestrian pathway in accordance with part (b) of this condition;

All pathway and accessways are to be designed in accordance with regard to the relevant Australian Standards. Pathways are to be a maximum of 1:20 grade and designed in accordance with AS1428.1. Riverfront pathways are to be adjusted in width, radii and grades as required to comply with Austroads specifications with regard to bikeways;

Reduce the extent of planting within the public realm to ensure maximum widths of 3.5m. Species are to be selected for hardiness and low maintenance. A mixture of

low shrubs, groundcovers and clear trunk trees are to be provided to ensure sightlines are maintained and issues of CEPTED adequately addressed. Shrub planting is to be provided at key locations to ensure screening of blank or undesirable walls or elements or mechanical plant;

Planting is to comprise a minimum of 70% native species to the Greater Brisbane Area. Species are to be suitable for the riparian / marine environment and be selected in accordance with **Brisbane City Council's "Public Riverside Facilities Design and Maintenance Manual", dated July 2003;**

Detailed construction documentation is to be provided for the proposed bioretention gardens. Gardens are to be clearly demonstrated to be low maintenance and maintenance accessible;

Provide construction level detail of all proposed works within the public parkland.

Provide ex-ground stock large riparian canopy trees eg. AGATHIS robusta, ARAUCARIA cunninghamii, ELAEOCARPUS grandis, in grouped or single plantings. These are to be spaced according to the species' mature size requirements to the open space areas and be located so as to provide visual attenuation to the built form;

Provide specification and details for all paving areas in accordance with the general requirements of Council's Centre Detail Design manual. Finishes are to be specified to the satisfaction of landscape Architect Development Assessment South.

Details of a costing and maintenance program, including the following:

Costing of all works indicated on the Landscape Management and Site Works Plan; and

Details of a 12-month maintenance plan for all proposed landscaping, including staging of works and time schedules, methods of establishment and projected ongoing maintenance costs.

b) Shared pedestrian/bicycle path within the Tennyson Riverside Park is as follows:

Is designed generally in accordance with EDAW Riverside Park Promenade Drawing L-2038-A1L-205 dated 29/09/06 as amended in red and Pedestrian & Bicycle Pathways Plan M-SP-RP.DA, Rev H, dated July 06 and amended in red 19 September 2006, to show path widths;

Is designed according to the specification of the Public Riverside Facilities Design and Maintenance Manual;

No part of the riverside pathway, including handrails and fencing, extends over the property alignment of the site to the Brisbane River;

Where the total width of the parkland (measured from the building edge to site boundary) is less than 10 metres, the pathway is located as close as practicable to the alignment

of the site to the Brisbane River; and

Where the access width is less than 10 metres, surface finishes are to be limited to one or more of the following:

concrete;

hardwood timber decking;

vegetated garden areas; or

other surface treatment as approved by the Landscape Architect, Development Assessment Team South.

c) Prior to the commencement of the use or prior to endorsement of a community management statement, whichever is sooner, provide a monetary contribution bond for the on going maintenance cost of the proposed the above works within the parkland.

The bond is to be held in trust until such time as:

the total area of 1.87 hectares of land is transferred to the Brisbane City Council in fee simple on trust for Public Purposes; and

the final park transfer is accepted "off maintenance" as a Council asset by the Delegate of Council.

d) Prior to the commencement of the use or prior to endorsement of a community management statement, whichever is sooner, carry out the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice and to a standard that will be satisfactory to be accepted "On-maintenance" (Practical Completion) and "Off-maintenance" (Final Completion) as a Council asset, by the Delegate, Licensing and Compliance.

e) Maintain the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice and to a standard that will be satisfactory to be accepted "On-maintenance" (Practical Completion) and "Off-maintenance" (Final Completion) as a Council asset, until such time as:

f) The total area of 1.87 hectares of land is transferred to the Brisbane City Council in fee simple on trust for Public Purposes; and

the final park transfer is accepted "off maintenance" as a Council asset by the Delegate of Council.

#### **GUIDELINE**

*This condition is imposed when proposed parkland is to be transferred to the Brisbane City Council in trust. The required works are the minimum works that are required to ensure that the proposed parkland is acceptable for transfer. For further details on parkland design, please refer to Council's "Environmental Best Management Practices" document for parkland (EBMP) and "Public Riverside Facilities Design and Maintenance Manual".*

131) Arborist Tree Report

As indicated

- a. Submit together with the Vegetation Management Plan, a detailed arborist's report for the works proposed in the land to be dedicated to Council in trust for Public Purposes (Parkland and Community Facilities) This report is to be generally in accordance with the Vegetation Management Plan as submitted to the Ecologist Development Assessment South and be prepared by a qualified arborist (minimum Level 5) for the existing trees located within the land to be dedicated to Council in trust for Public Purposes. The arborist report must include but not be limited to the following information:

Details of the subject trees to be removed and retained including: height, spread, diameter at breast height (DBH), species and canopy spread and valid reasons for removal. Health concerns for the vegetation are to be clearly indicated in the report for any trees to be removed;

Where works are proposed within the canopy zone of trees for retention then recommendations on clearances, suitable material/s and construction technique/s for paving surrounding these trees are to be provided;

Where trees are proposed for retention provide the tree protection zone details and extent;

Proposed measures to be undertaken to retain vegetation without effecting the health;

Description of any best practice root and canopy works;

Clear indication of the extent of any canopy pruning required for vehicle access clearance, dead wooding and any canopy lifting required to provide a visual balance;

Detailed site management and tree protection techniques to be undertaken during construction;

Post construction management techniques; and

Monitoring as deemed necessary.

- b. Obtain approval from the Delegate, Development Assessment for the above requirements.

**GUIDELINE**

*This condition is intended to identify and ensure the retention of existing vegetation within the proposed parkland can be managed to ensure its longevity. In preparing this report consideration should also be given to the matters contained within the Vegetation Management Plan.*

**132) Detailed Plan**

Prior to site works commencing, prepare and landscape the site in accordance with a Landscape Management, Site Works and Planting Plan.

- a) Submit and receive approval by the Delegate, Development Assessment for a detailed Landscape Plans for all private on-site landscape works identified on the approved Landscape Master Plan dated July 2006 and Pedestrian & Bicycle Pathways Plan M-SP-RP.DA, rev H, dated July 2006 and amended in red 19 September 2006. The

Prior to commencement of site works

plans are to be prepared at a scale of 1:100 or 1:200 by a suitably qualified and experienced Landscape Architect/Designer, and must comply with the "Brisbane City Plan 2000- Landscaping Code". The plan is to be lodged prior to or concurrently with any other operation works application. The plan should include the following:

Siteworks:

Amendments in red on the approved plans of layout to show footpath extension along north western side of visitor parking;

Identification, protection and retention of the existing vegetation as identified in the Vegetation Management Plan, to be submitted concurrently to the Ecologist Development Assessment South;

The extent of soft and hard landscape works;

Extent of basement and roof lines;

Full extent of carpark works including but not limited to; WSUD principles, permeable paving, and stormwater infiltration areas. Full details of any bioretention swales, infiltration gardens etc.;

Locations of bin enclosures with adequate screening and attenuation;

Locations of pad-mounted electricity transformers;

Clear and easily accessible pedestrian pathways. Paths are to be in accordance with AS1428.1;

Location and details (heights, materials) of fencing, retaining walls and ramps;

Existing and proposed finished levels to external works particularly in critical areas (eg. top and toe of retaining walls and steps);

Provide detailed sections of critical interface areas between private and public land;

Description/detail of critical design elements where applicable (eg. stabilisation of batters, podium planters);

A minimum 50m<sup>2</sup> is to be provided as communal open space per building. Private open space provisions are to be entirely exclusive of public areas;

Provide a selection of plant stock in 200 litre bags and ex-ground stock large riparian canopy trees eg. AGATHIS robusta, ARAUCARIA cunninghamii, ELAEOCARPUS grandis, in grouped or single plantings. These are to be spaced according to the species' mature size requirements to the open space areas and be located so as to provide visual attenuation to the built form;

Basic specification notes for soil preparation and planting, including mulching and soil types both existing and imported; and

Provision of at least one hosecock to each garden area, and a reticulated irrigation system with connection to a non-mains supply to all common landscape areas. Provide roofwater / recycled water collection locations for irrigation of common landscape areas;

<p><u>Planting:</u></p> <p>A planting schedule listing proposed plants by botanical names, numbers and size at time of planting;</p> <p>Shade trees at ratio of 1 per 6 carparking bays;</p> <p>Planting is to comprise a minimum of 70% native species to the Greater Brisbane Area. Species are to be suitable for the riparian / marine environment and be selected in accordance with <b>Brisbane City Council's "Public Riverside Facilities Design and Maintenance Manual", dated July 2003;</b></p> <p>Tiered planting consisting of trees, shrubs and groundcovers to all garden areas;</p> <p>Screen planting including columnar trees and screen shrubs to common boundaries of the site; and</p> <p>Provision of canopy trees at regular spacing dependent on the mature size characteristics adjacent to the street frontage(s) of the site.</p> <p>b) Prior to the commencement of the use and then to be maintained, carry out the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice.</p> <p>c) Prior to the commencement of the use, advise Council upon completion of the landscape works by completing the development details and Part B of the Compliance Certificate-Landscaping.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when there is a landscape component to a High Level development application, and Council requires more details of the proposed landscape works.</i></p>	
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**Pollution**

	<b>Timing</b>
<p><b>133) Acoustic Report</b></p> <p>The proposed residential units are required to comply with the following.</p> <ol style="list-style-type: none"> <li>Submit a revised acoustic report for approval by the Pollution Officer Development Assessment Team South which demonstrates that the proposed residential development will achieve the relevant maximum recommended design sound level specified in Australian Standard AS2107, "Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors" using the methods set out in Australian Standard AS3671- "Acoustics - Road Traffic Noise Intrusion Building Siting and Construction".</li> <li>At the time of construction, design and construct all proposed residential units affected by road traffic in accordance with the building treatments recommended in the revised approved acoustic consultants report to achieve the relevant maximum recommended design sound levels specified in Australian Standard AS2107 "Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors" using the methods set out in Australian Standard AS3671- "Acoustics - Road Traffic Noise Intrusion Building Siting and Construction".</li> </ol>	<p>Prior to site works/building works commencing</p>



<p>c. Prior to the commencement of use and then to be maintained, submit certification from an independent and appropriately qualified acoustic consultant which demonstrates that the necessary acoustic treatments referred to in the revised approved acoustic consultant's report have been implemented into the buildings envelope of the proposed dwellings to achieve the relevant maximum recommended design sound level specified in Australian Standard AS2107, "Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors".</p> <p><b>GUIDELINE</b> This condition is imposed to ensure that noise impacts on the residential units are adequately managed.</p>	
<p><b>134) Air Conditioning to Noise Affected Rooms</b> Air conditioning must be provided to all units as determined in the revised approved acoustic consultants report to be supplied.</p>	<p>Prior to the commencement of the use or prior to the endorsement of a Community Management Statement, whichever is sooner</p>
<p><b>135) Dampening of Grills and Metal Plates</b> Any metal grills, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.</p> <p><b>GUIDELINE</b> This condition is imposed to ensure that noise vehicle movements do not cause environmental nuisance.</p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>136) Traffic Areas - Cleaned</b> All sealed traffic areas must be cleaned as necessary to prevent emissions of particulate matter.</p> <p><b>GUIDELINE</b> The condition is imposed to prevent particulate emissions from traffic areas.</p>	<p>To be maintained</p>
<p><b>137) Car Wash Bay</b> Construct a car wash bay for the washing of vehicles. The car wash bay shall be provided with a tap, paved with an impervious material, graded and drained to sewer in accordance with a hydraulics plan approved by the Principal Officer Plumbing, Development &amp; Regulatory Services.</p> <p><b>GUIDELINE</b> This condition recognises the need to provide a facility for a car wash bay within the site</p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>138) Acid Sulfate Soils Management Plan</b></p> <p>Prior to site works commencing, acid sulfate soils must be appropriately managed as detailed below:</p>	<p>As indicated</p>

<p>a. While site/operational works/building works is occurring, implement an Acid Sulfate Soils Management Plan prepared by Soil Surveys dated March 2006 in accordance with the <i>State Planning Policy 2/02 - Planning and Managing Development Involving Acid Sulfate Soils</i> and associated guidelines and technical documents.</p> <p>b. Prior to the commencement of the use, provide certification to the Pollution Officer, Development Assessment, Development and Regulatory Services that an Acid Sulfate Soils Management Plan, has been developed and implemented.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed where: Works are proposed on sites that contain acid sulfate soils or potential acid sulfate soils; the applicant has submitted an Acid Sulfate Soil Investigation Report for Council consideration and demonstrated that the Acceptable Solution can be met; and a Preliminary Acid Sulfate Soil Management Plan is required (but not required to be approved by Council). It is generally used where less than 500m<sup>3</sup> of soil will be disturbed, the watertable is not affected, and the disturbance impacts in areas that host potential acid sulfate soils can</i></p>	
<p><b>139) Stormwater Runoff</b></p> <p>a. All stormwater runoff from carpark, driveways, hardstand areas, loading areas etc from the site must be treated by stormwater quality best management practices before discharge to the stormwater system in accordance with Stormwater Quality Management Report prepared by GHD and dated November 2005. Strategies may involve discharge to grass swales, landscaping, infiltration trenches, mini-wetlands or in-ground proprietary stormwater quality improvement devices. These practices must adequately remove key pollutants of concern. The stormwater quality best management practices utilised on the site must provide, as a minimum, for the following:</p> <p>Q 3 month flow;</p> <p>capture of sediment/suspended solids to meet best practice discharge guidelines (80% of coarse sediment 5mm diameter or less, and 50% of fine sediment 0.1mm diameter or less);</p> <p>capture of litter; and</p> <p>no visible discharges of hydrocarbons eg oils, greases.</p> <p>b. Submit certification from an appropriately qualified person that stormwater quality best management practices as specified above has been provided on site.</p>	<p>Prior to commencement of use</p>
<p><b>140) POOL WATER DISCHARGES</b></p> <p>Pool water wastes including filter backwash, drainage and overflow waters shall be treated and disposed in accordance with the Brisbane City Council Subdivision and Development Guidelines - Part C Water Quality Management Guidelines.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed where water quality may be affected as a result</i></p>	<p>To be maintained</p>

of the development.

## Engineering

	Timing
<p><b>141) Minimise On-Site Erosion</b></p> <p>Minimise on-site erosion and the release of sediment or sediment-laden stormwater from the site at all times through compliance with an approved Erosion and Sediment Control (ESC) Program for the site.</p> <ol style="list-style-type: none"> <li>Submit an Erosion and Sediment Control (ESC) Program which complies with Council's Erosion and Sediment Control Standard (Version 9 or later), and receive approval from the Engineering Delegate, Development Assessment, prior to the commencement of land-disturbing activities;</li> <li>While site works (eg. Operational works, building works) are occurring and until exposed soil areas are permanently stabilised (eg. Turfed, concreted), implement and modify as necessary the approved ESC Program to maintain compliance with the Erosion and Sediment Control Standard (Version 9 or later) at all times during the period from when land-disturbing activities begin to when responsibility for the site no longer lies with the applicant.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed where the land-disturbing development (as defined in the current version of Council's Erosion and Sediment Control Standard) involves site works that could lead to significant erosion and loss of sediment from the site. The ESC Program must be prepared in accordance with Councils Erosion and Sediment Control Standard (Version 9 or later), and may include detailed plans, descriptions of control measures, monitoring programs and maintenance procedures. Please note that the work referred to in this condition involves operational work and therefore requires an operational works application to be submitted. Relevant guidelines to assist in the preparation of ESC Programs include the: "Soil Erosion and Sediment Control - Engineering Guidelines for Queensland Construction Sites" The Institute of Engineers, Australia (Qld), 1996 (or later version); "Sediment Basin Design Guidelines", Brisbane City Council, February 2000 (or later version); and "Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites" and accompanying fact sheets, Brisbane City Council and Gold Coast City Council, 2000 (or later version). NB. The ESC Program may form part of a Site Based Stormwater Management Plan (that addresses short and long-term stormwater management from a quality and quantity perspective) or an Environmental Management Plan (EMP). For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to site works commencing (ie. any land-disturbing development)</p>
<p><b>142) Construction Management Plan</b></p> <p>Prepare a Construction Management Plan for the subject site.</p> <ol style="list-style-type: none"> <li>Submit for approval of the Engineering Delegate, Development and Regulatory Services, a Construction Management Plan in accordance with the <i>Transport, Access, Parking and Servicing Planning Scheme Policy</i> of the <i>Brisbane City Plan 2000</i> and the following details, where applicable, of the construction phase of the approved development. The CMP is to acknowledge the restrictions detailed in the NOTES following the numbered items:</li> </ol> <p style="padding-left: 40px;">Provision of alternative pedestrian routes, past or around the site;</p>	<p>Prior to lodging an application for Building Works</p>

<p>Existing and proposed kerbside allocation signs and linemarking such as bus stops, loading zones and parking meters;</p> <p>Temporary vehicular access points;</p> <p>Employee and visitor parking areas;</p> <p>How materials are to be loaded/unloaded;</p> <p>Location of any remote loading areas;</p> <p>Location of materials, structures, plant and equipment to be stored or placed on the construction site;</p> <p>Anticipated staging, programming;</p> <p>EPA approved hours of construction</p> <p>NOTE: Approval for on street work zones will only be considered where it can be demonstrated that no reasonable alternative can be provided due to site constraints and that traffic and public transport capacity and operations are not compromised.</p> <p>b) Obtain relevant permits from the Engineering Delegate, Development and Regulatory Services, to carry out any works within the road reserve required by the approved Construction Management Plan.</p> <p>The Construction Management Plan may require modification, with Council approval, to reflect relevant legislation, traffic and public transport capacity and operations as well as industry best practice prevailing at the time of the permit application and throughout the construction activities;</p> <p>c) Implement and maintain the approved Construction Management Plan.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area., This condition is intended to apply throughout the period of site preparation to the completion of the development.</i></p>	
<p><b>143) Cutting/Filling</b></p> <p>Undertake the works on the site in accordance with an Earthworks Plan approved by the Engineering Delegate, Development Assessment.</p> <p>a) Submit an earthworks plan (and obtain approval from the Engineering Delegate, Development Assessment), prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" demonstrating how the development will comply with this requirement and the following:</p> <p>The location of any cut and/or fill;</p> <p>The quantity of fill to be deposited and finished fill levels;</p>	<p>Prior to site works/building works commencing</p>

Maintenance of access roads to and from the site such that they remain free of all fill material and are cleaned as necessary;

The existing and proposed finished levels (extending into the adjacent properties);

Preservation of all drainage structures from the effects of structural loading generated by the earthworks;

Protection of adjoining properties and roads from ponding or nuisance from stormwater;

That all vehicles exiting from the site will be cleaned and treated so as to prevent material being tracked or deposited on public roads.

b) All fill material placed on the site is to be free of contaminants (as defined by section 11 of the Environmental Protection Act 1994), noxious, hazardous, deleterious and organic materials.

Suitable fill material is deemed to comply with the requirements of clause 4.3, AS 3798, Guidelines on Earthworks for Commercial and Residential Developments.

c) Prepare the following details for presentation to the Council's Engineering Delegate at a pre-start meeting arranged by the consultant supervising the contractor:

The type of fill to be used and the manner in which it is to be compacted;

Details of any proposed access routes to the site which are intended to be used to transport fill to the site;

Engineering details of any haul roads to be built to facilitate the placement of fill on the site;

The contractor is responsible for maintaining the access roads near the site such that they remain free of all fill material and are cleaned as necessary;

Damage to Council assets will need to be repaired at no cost to Council;

Public footpaths fronting the site are to remain safe at all times; and

Compliance with Council's Erosion and Sediment Control Guidelines relating to earthworks on a construction site.

d) While site/operational works/building works is occurring, implement and maintain the provisions of a Site Based Stormwater Management Plan which is consistent with Council's *"Subdivision & Development Guidelines"* (2000 or later version) and aims to prevent or minimise the contamination of stormwater and the release of contaminated stormwater from the site during construction and operational works.

<p><b>GUIDELINE</b>  <i>This condition is imposed for applications when significant earthworks are proposed in conjunction with a development proposal. Site Based Stormwater Management Plans (that address short and long term stormwater management from a quality and quantity perspective) may be part of Environmental Management Plans (EMPs) and include ESC Programs/Management Plans. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>144) Granting Easements</b></p> <p>Grant the following easement(s):</p> <ul style="list-style-type: none"> <li>a. Easements for underground drainage, overland flow, open cut, and access purposes as may be required, in favour of Brisbane City Council;</li> <li>b. Easements for underground drainage, open cut, overland flow and access purposes as may be required over that part of the site below the Flood Regulation Line and/or that part of the site affected by 100 year average recurrence interval (ARI) flooding, in favour of Brisbane City Council;</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide access, maintenance of services and to protect drainage paths if required. Easements in favour of the Brisbane City Council are required to have the necessary easement documentation prepared (free of costs and compensation to Council) by the Brisbane City Council. Easements not in favour of the Brisbane City Council are required to have the necessary documentation prepared by the applicant's private solicitors. Easements are to be shown on a Survey Plan and lodged with the Delegate Plan Sealing, Licensing Sealing and Certificates Unit. Enquiries regarding any legal documentation can be directed to Licensing, Sealing and Certificates Unit, Development and Regulatory Services (pH 3403 9050). For any other enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to commencement of use</p>
<p><b>145) Remove Improvements and Obstructions from Truncation</b></p> <p>Remove all improvements and obstructions from the area of the corner truncation(s) and area of dedicated road and reinstate the area as footway in accordance Council's "Subdivision and Development Guidelines".</p> <ul style="list-style-type: none"> <li>a. Provide a certificate from a Registered Surveyor, certifying that all improvements and/or obstructions have been removed from the area of corner truncation(s) and area of dedicated road;</li> <li>b. Provide a certificate certifying that the works required by this condition have been completed;</li> <li>c. Forward a copy of the certification from a registered surveyor together with the request for survey plan endorsement, to the Delegate Plan Sealing, Licensing, Sealing and Certificates Unit, Development and Regulatory Services.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when a corner truncation or road dedication requires removal of all improvements (eg. fences, gates, letter boxes, garden beds and plots and other constructed items etc.) and obstructions (eg. existing earth banks, vegetation etc.) from the area of new road. It</i></p>	<p>Prior to commencement of use</p>

<p><i>should be noted that significant trees and certain types of vegetation may be left in place. The retention of a particular item is site specific and retained at the discretion of the Engineering Delegate. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>146) Signs and Line Markings - Internal</b></p> <p>Provide internal signs and line markings generally in accordance with the approved drawings and documents and in accordance with Austroads and the Manual of Uniform Traffic Control Devices.</p> <ol style="list-style-type: none"> <li>Prior to lodging a development permit for building works, prepare detailed engineering plans prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" showing the design of the sign and line marking work;</li> <li>Construct the works in accordance with the engineering plans; and</li> <li>Submit "As Constructed" plans to the Engineering Delegate, Development and Regulatory Services, approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications and that the works required by this condition are in accordance with "Austroads" and the "Manual of Uniform Traffic Control Standards".</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the development is signed and lined in accordance with the relevant standards.</i></p>	<p>Prior to commencement of use</p>
<p><b>147) Retaining Walls</b></p> <p>Any retaining walls greater than 1.0 metre in height are required to be structurally certified for design and construction by a Registered Professional Engineer Queensland (RPEQ). The certification is to include the stormwater drainage (surface and seepage water) associated with the wall ensuring that the water is directed to an acceptable lawful and legal point of discharge and does not cause any ponding, nuisance or disturbance to adjacent property owners. All retaining walls are to comply with the City Plan Filling and Excavation Code.</p> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that retaining walls associated with the development that are higher than 1 metre, are designed and constructed to industry standards and also, to ensure that no adverse impact is created by the structures on the surrounding properties. The retaining wall designer should note that timber retaining walls facing onto Council property (including the road reserve) will not be permitted. Retaining walls facing onto road reserve or parkland are to be contained entirely within the proposed development site, including the retaining wall's footings. Where retaining walls are proposed to be constructed between adjoining properties, it is also suggested that the use of timber sleeper retaining walls be restricted due to their limited life and the potential problems they may cause to future property owners. Where the combined height of the retaining wall and fence exceeds 2.0 metres, a Development Permit for Building Work will need to be granted. For any enquires about this condition please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to commencement of use</p>

<p><b>148) Access, Grades, Manoeuvring, Carparks, Signs</b></p> <p>Construct and delineate or sign (as required) the following requirements as indicated on the approved plan(s) of layout:</p> <ol style="list-style-type: none"> <li>Construct a pavement of minimum Type A standard and surface with an impervious material (including associated drainage) to the area on which motor vehicles will be driven and/or parked. {Construction of such pavement is to be certified by a Registered Professional Engineer of Queensland (RPEQ)};</li> <li>The driveways at grades shown on the approved plans and documents (or if not shown at grades not greater than those set out in "Brisbane City Plan 2000 - Transport, Access, Parking and Servicing Planning Policy");</li> <li>Manoeuvring on site for a LRV and for the loading and unloading of the vehicle(s);</li> <li>Parking on the site for a minimum of 230 cars and 29 visitor car spaces and for the loading and unloading of vehicles within the site;</li> <li>3 of the above parking spaces are to be provided for people with disabilities;</li> <li>One (1) visitor parking space is to be provided and signed for exclusive use by the On-Site Manager Residence located in Building D.</li> <li>A minimum 2.3 metres height clearance to all undercover vehicle aisles and manoeuvring area that are not part of a designated tenant parking space and a minimum of 2.5 metres above parking spaces for people with disabilities (Note, The minimum clear height shall be measured to the lowest appurtenance on the ceiling - ie. fire sprinklers, services, lighting fixtures, signs etc.);</li> <li>A height clearance sign located at the entrance(s) to undercover car parking areas;</li> <li>A directional visitor parking sign at the vehicle entrance to the site adjacent to or clearly visible from the vehicle entrance to the site;</li> <li>An appropriate area for the storage and collection of refuse, including recyclables, in a position which is accessible to service vehicles on the site;</li> <li>The internal paved areas are to be signed and delineated in accordance with the approved plans, Manual of Uniform Traffic Control Devices and Austroads.</li> </ol> <p><b>GUIDELINE</b>  <i>The "Brisbane City Plan 2000 - Transport, Access, Parking and Servicing Planning Policy" requires adequate on-site provision of parking, servicing and manoeuvring areas. This condition specifies detailed design requirements as indicated on the approved drawings and documents to which the approval relates.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>149) Flooding - Q50 &amp; Q100</b></p> <p>Run off from the site and run off concentrated on the site from local catchments for storms up to the 50 year (ARI) flood event and for a 100 year (ARI) flood event for creek and river flooding, is to be managed in accordance with approved drainage plans and Council's "Subdivision and Development Guidelines" so as not to have any adverse effect on neighbouring properties.</p> <ol style="list-style-type: none"> <li>Design and construct all buildings to have the appropriate freeboard in accordance with the Council's "Subdivision and Development Guidelines" so as not to be flooded during a 50 year (ARI) local flood event or a 100 year (ARI) creek or river flood event whichever is the higher flood level;</li> </ol>	<p>Prior to lodging an application for Building Works</p>



<ul style="list-style-type: none"> <li>b. Submit engineering plans and calculations, prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance with the Council's "Subdivision and Development Guidelines", demonstrating how the development will comply with this requirement. Such plans are to show adequate survey information on areas adjoining the site with particular attention to ponding of water and overland flowpaths and building pads. Additionally, the submitted information is to determine the extent of any stormwater drainage works and the width of any overland flow easements. Obtain approval for the design from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</li> <li>c. Prior to the commencement of use complete the works in accordance with the approved engineering plans; and</li> <li>d. Prior to the commencement of use submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the design of the subject development accounts for the stormwater run off and/or if stormwater drainage patterns in the vicinity of the site require improvements. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>150) Floor Levels</b></p> <p>Design and construct all proposed buildings in accordance with Council's "Subdivision and Development Guidelines" to ensure that minimum habitable floor levels are 500 mm above the 100 year (ARI) flood level (river and creek flooding) or 500 mm above the 50 year (ARI) (overland flow level) whichever is the greater.</p> <ul style="list-style-type: none"> <li>• Minimum non-habitable floor levels are to be not less than 300 mm above the 50 year (ARI) or 100 year (ARI) flood levels (which ever is the greater).</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when the site is affected by flooding. The 100 year ARI event is applicable to river and/or creek flooding. If the catchment is localised, the 50 year ARI event will be applicable unless the site is also affected by creek or river flooding in which case the higher flood level is to be used. For flood level information, Council Flood Reports are now available from any of Council's Customer Service Centres and Regional Business Centres. The new Flood Report provides the latest flood information for a nominated property plus other useful information about flooding and your development.</i></p>	<p>Prior to lodging an application for Building Works</p>
<p><b>151) Construct Footpath</b></p> <p>Undertake the following works to provide safe pedestrian access:</p> <ul style="list-style-type: none"> <li>a. Construct a footpath a minimum width of 1.2 metres at the Softstone Street and Fairfield Road Access points generally in accordance with Drawings B04254-SK65 revision C and Drawing B04254-SK58 and in accordance with Council's "Subdivision and Development Guidelines". The design of the footpath works is to include any permanent safety signs, markings and devices (if required).</li> </ul>	<p>Prior to commencement of use</p>

<ul style="list-style-type: none"> <li>b. Construct a 4.0 metre wide Pedestrian link to the Yeerongpilly Railway Station Overpass generally as per drawing B04254-SK59 Revision A.</li> <li>c. Construct all footpaths to a standard that will be satisfactory to be accepted "on" and "off" maintenance" as a Council asset, by the Engineering Delegate, Development and Regulatory Services; and</li> <li>d. Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition requires works to be undertaken in the road reserve. The intention of the condition is to ensure that the adjoining footpaths are designed and constructed to a standard suited to the demands created by the approved development. For advise regarding alignment and levels of the proposed works and any other enquires about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
<p><b>152) Repair Damage to Kerb, Footpath or Road</b>  Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried in association with the approved development.</p> <p><b>GUIDELINE</b>  <i>The intention of this condition is to ensure that any works undertaken as part of the approved development do not damage Council assets or leave Council assets in an unacceptable and unsightly manner. For enquiries regarding this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to commencement of use</p>
<p><b>153) Refuse and Recycle Bins - On-Site Collection</b>  Be responsible for internal (on-site) collection of refuse and recyclables from the development.</p> <ul style="list-style-type: none"> <li>a. Enter into an agreement with Council's City Waste Services to provide a bulk bin collection service to the development;</li> <li>b. The applicant/owner must indemnify Council and its agents in respect of any damage to the pavement and other driving surfaces;</li> <li>c. The applicant/owner shall notify future owners/body corporate that the development has been approved on the basis that an indemnity is provided for refuse collection vehicles to enter the property;</li> <li>d. Forward a copy of the written indemnity agreement with City Waste Services to the Engineering Delegate, Development and Regulatory Services;</li> <li>e. Forward a copy of the written undertaking required to advise future owners/body corporate to the Engineering Delegate, Development and Regulatory Services.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that adequate arrangements are made for the collection of refuse and recyclables from the approved development. For any enquiries about this condition, please contact the</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>

<p>Co-Ordinator of City Waste Contract Services, pH: 3403 8612 or 3403 8613).</p>	
<p><b>154) Provide Extended Sewer Connection(s)</b></p> <p>Provide a sewer property connection to serve the development designed and constructed in accordance with approved engineering plans and Council's "Water and Sewerage Reticulation Standards". NB. The size of the connection shall be determined by the total number of fixture units.</p> <ol style="list-style-type: none"> <li>Submit engineering plans prepared by a Registered Professional Engineer Queensland (RPEQ), and in accordance with Council's "Water and Sewerage Reticulation Standards" showing the design the works. Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</li> <li>Pay to Council the cost of live connection to the sewer main;</li> <li>Prior to the commencement of use construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance as a Council asset, by the Engineering Delegate, Development and Regulatory Services;</li> <li>Prior to the commencement of use submit "As Constructed" plans including an assets register, approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Water and Sewerage Reticulation Standards") certifying that the works have been completed in accordance the approved design and any approved modifications.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide a separate new sewerage connection to the development. For enquiries regarding this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to undertaking the works</p>
<p><b>155) BOS (Build Over Sewer)</b></p> <p>Obtain written permission from the Engineering Delegate, Development and Regulatory Services, to build over or near sewer infrastructure, or to relocate the sewer/sewer infrastructure at no cost to Council.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed so that the council does not incur costs associated with the erection of a building or structure over or near a sewer and/or sewer infrastructure. To avoid unnecessary expense and delay, the Council strongly recommends that the developer apply for permission to "Build Over Sewer" prior to the lodgement of any further development applications. For any enquiries regarding this condition, please contact the Delegate, Development and Regulatory services.</i></p>	<p>Prior to lodging an application for Building Works</p>
<p><b>156) Build Over or Near Stormwater</b></p> <p>Obtain written permission from Council to build over or near storm water infrastructure (pipe drainage system or an easement for overland flow), or, to relocate a storm water drainage system, all at no cost to Council.</p> <ol style="list-style-type: none"> <li>Submit engineering plans and calculations (if required), prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance Council's "Guidelines for Building Over or Near</li> </ol>	<p>Prior to lodging an application for Building Works</p>

<p>Stormwater Facilities" in the "Subdivision and Development Guidelines" showing the manner in which it is intended to preserve the existing storm water drainage structures (or overland flow easements) within the site from damage, structural loading or obstruction. Obtain approval for the design from the Engineering Delegate, Development Assessment, Development and Regulatory Services.</p> <ol style="list-style-type: none"> <li>2. Prior to the commencement of the use, complete the works in accordance with the approved engineering plans.</li> <li>3. Prior to the commencement of the use, submit "As Constructed" plans including an asset register (if required) of any modified or relocated stormwater drainage structure or other Council asset. The plans are to be approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") and certified that the works have been completed in accordance with the approved design and any approved modifications</li> </ol> <p><b>GUIDELINE</b>  <i>This condition has been imposed to ensure that acceptable measures will be incorporated into the development to protect Council's Infrastructure. For any enquiries about this condition, please contact Council's Customer Contact Centre on ph. 3403 8888.</i></p>	
<p><b>157) On-Site Drainage</b></p> <p>Run-off from roof and developed surface areas of the site, and any run-off onto the site from adjacent areas, are to be collected internally and directed to a lawful point of discharge in accordance with Council's "Subdivision and Development Guidelines".</p> <ol style="list-style-type: none"> <li>a. Submit drainage plans and engineering calculations (as a part of the development's Site Based Stormwater Quantity Management Plan) in accordance with Council's "Subdivision and Development Guidelines" showing the design of the drainage of the roof and developed surfaces. Obtain approval from the Engineering Delegate, Development Assessment.</li> </ol> <p>Such plans are to show adequate survey information on areas adjoining the site with particular attention to any nuisance or annoyance to adjoining property owners.</p> <p>Please note all constructed stormwater outlets that are proposed to discharge directly to a waterway, shall ensure an appropriate waterway setback, reduction in flow outlet velocity and concentration and, include any supplementary planting works that may be required (refer "Stormwater Outlets in Parks and Waterways", BCC July 2000);</p> <ol style="list-style-type: none"> <li>b. While site/operational works/building works is occurring, complete the works in accordance with the approved engineering plans and other elements of the development's Site Based Stormwater Management Plan; and</li> <li>c. Prior to the commencement of use submit "As Constructed" plans approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</li> </ol> <p><b>GUIDELINE</b>  <i>The purpose of this condition is to ensure that stormwater run off from the site and adjacent properties will be handled adequately. Disposal by</i></p>	<p>Prior to site works/building works commencing</p>

<p><i>gravity pipeline is required if practical. Use of pumps for disposal of stormwater may be approved only if the applicant can show evidence to Council of having taken all reasonable steps to obtain written permission from adjacent property owners for construction of a gravity pipeline, and of this being unobtainable. The proposal may include water saving and reuse devices such as rain water tanks provided that the proposal satisfies Council that devices will be satisfactorily maintained by the owners of the property. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>158) Upstream Stormwater Drainage Connection</b></p> <p>Provide a stormwater drainage connection for the future development of all adjoining upstream properties in accordance with an approved drainage plan and Council's "Subdivision and Development Guidelines".</p> <ol style="list-style-type: none"> <li>Prior to undertaking the works, submit engineering plans and calculations and obtain approval from the Engineering Delegate, Development Assessment;</li> <li>Complete the works in accordance with the approved engineering plans and in accordance with, Council's "Subdivision and Development Guidelines", and</li> <li>Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the subject development does not prejudice stormwater drainage of adjacent properties. The stormwater drainage required by this condition needs to be encompassed by an easement granted in favour of the Council, as may be required. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to commencement of use</p>
<p><b>159) Internal Stormwater Facilities</b></p> <p>Manage on-site drainage, ponding and discharge:</p> <ol style="list-style-type: none"> <li>Design, construct, and thereafter maintain, rehabilitate or replace the following facilities in accordance with the approved plan(s) of layout. These works are to be designed, constructed and maintained in accordance with the following documents: <ol style="list-style-type: none"> <li>Stormwater Management Code of the City Plan;</li> <li>Services Works and Infrastructure Code of the City Plan;</li> <li>The Subdivision and Development Guidelines;</li> <li>QUDM.</li> </ol> </li> <li>A Certificate of Completion (as per Chapter 3, Appendix B of Part E of the Subdivision and Development Guidelines) certified by a Registered Professional Engineer of Queensland (RPEQ) is required as proof of compliance with this condition. A copy of the Certificate of Completion is to be forwarded to the Engineering Delegate.  NOTE: The design, design documentation, (including test results) and the Certificate of Completion are to be forwarded to and retained by the current and future owner(s) as proof of initial compliance with this</li> </ol>	<p>Prior to the commencement of the use and then to be maintained</p>

<p>Condition of Development and to assist in the on-going compliance with this Condition of Development and any future auditing.</p> <p><b>GUIDELINE</b>  <i>The purpose of this condition is to ensure that stormwater run off from the site and adjacent properties will be handled adequately. Disposal by gravity pipeline is required if practical. Use of pumps for disposal of stormwater may be approved, however details and plans would need to be approved by the Engineering Delegate. The applicant would need to show evidence to Council of having taken all reasonable steps to obtain written permission from adjacent property owners for construction of a gravity pipeline, and of this being unobtainable. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>160) Service Conduits and Mains</b></p> <p>Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in connection with the approved development. This includes the relocation of any fire hydrants and valves from within the limits of the development's vehicular footway crossings if applicable.</p> <ol style="list-style-type: none"> <li>Complete the works required by this condition;</li> <li>Submit "As Constructed" plans including an asset register (if required), approved by a registered Professional Engineer Queensland (RPEQ) (in accordance with Council's "Subdivision and Development Guidelines" and "Water and Sewerage Reticulation Standards") showing the works required by this condition.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed when additions, alterations or extensions to service conduits, mains and other services are required as a result of the approved development. Applicants should liaise with the appropriate service authorities. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services (regarding advise on traffic signal conduits, stormwater, water supply and sewerage mains etc.) or the relevant public utility authorities (for advice on other services).</i></p>	<p>Prior to commencement of use</p>
<p><b>161) Public Lighting System</b></p> <p>Provide a public lighting system in accordance with an approved street lighting design plan and Council's "Street Lighting Design Guidelines".</p> <ol style="list-style-type: none"> <li>Prior to undertaking the works, lodge street lighting design plans showing the proposed public lighting system and obtain approval from the City Lighting Unit, Local Asset Services Central District;</li> <li>Enter into an agreement with an electricity supplier to provide a public lighting system in accordance with the above approved lighting design plans; and</li> <li>Forward a copy of the agreement to the Engineering Delegate, Development Assessment.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed when a proposed development requires the provision of public lighting facilities in accordance with the "Street Lighting Design Guidelines". Please refer to the Council's information sheet on lodging detailed design applications. For any enquiries about this condition, please contact the City Lighting Unit (pH 3403 0307) regarding electricity reticulation plans or Energex (pH: 131 253) regarding electricity</i></p>	<p>Prior to commencement of use</p>

supply.	
<p><b>162) Underground Electricity Services</b></p> <p>Provide underground electricity services in accordance with an approved electricity reticulation plan and the Council's "Subdivision and Development Guidelines (Public Utilities Section)". Note: Even though the development may be in an area serviced by overhead electricity, UNDERGROUND supply to the development is now required - no additional poles or overhead mains are to be erected.</p> <ol style="list-style-type: none"> <li>Prior to undertaking the works, lodge electricity reticulation plans showing and the proposed electricity services and obtain approval from the City Lighting Unit, Local Asset Services Central District;</li> <li>Enter into an agreement with an electricity supplier to provide underground electricity services in accordance with the above approved electricity reticulation plans; and</li> <li>Forward a copy of the agreement to the Engineering Delegate, Development Assessment.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed when a proposed development would require the provision of electricity services in accordance with Council's "Guidelines for the Provision of Underground Electricity". Please refer to the Council's information sheet on lodging detailed design applications. For any enquiries about this condition, please contact the City Lighting Unit (pH 3403 0307) regarding electricity reticulation plans or Energex (pH: 131 253) regarding electricity supply.</i></p>	Prior to commencement of use
<p><b>163) Telecommunications</b></p> <p>Provide underground telecommunication services to the proposed development.</p> <ol style="list-style-type: none"> <li>Enter into an agreement with a telecommunication company and provide underground telecommunication services within and adjacent to the proposed development; and</li> <li>Forward a copy of the agreement to the Engineering Delegate, Development and Regulatory Services.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that the provision of essential communication services are provided to the development. For any enquiries about this condition, please contact relevant service carriers regarding communications or Telstra (pH 132 200).</i></p>	Prior to commencement of use
<p><b>164) Metering - Mixed Use Development</b></p> <ul style="list-style-type: none"> <li>Provide a water service with approved Council meter assembly and meter box to the front real property boundary of the development in accordance with Council's "Water and Sewerage Reticulation Standards". Where a mixed usage site is approved for development and the proposed development comprises mixed</li> </ul>	Prior to undertaking the works

classifications as defined by the Building Code of Australia containing any of Classes 5 to 9 and any of Classes 2 to 4, then the developer must provide a separate metered water service for the Class 2 to 4 occupancy as opposed to the Class 5 to 9 occupancy. This requirement is exclusive of any special fire service consideration i.e. internal hydrants, fire hose reels and sprinkler systems.

- Submit engineering plans prepared by the RPEQ (Registered Professional Engineer Queensland) , and in accordance with Council's "Water and Sewerage Reticulation Standards" showing service and meter works. (The size of the service shall be determined by the water supply requirement of the proposed development). Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;
- Pay to Council the cost of live connection to the water main;
- Such construction is to be to a standard that is satisfactory to be accepted on an off maintenance;
- If the meters are purchased other than from Council, pay to council a documentation fee for each water service provided. If the meters are purchased from Council, forward a copy of the receipt of purchase to the Engineering Delegate, Development and Regulatory Services.

#### **GUIDELINE**

*This condition is imposed to supply a water service and a meter(s) to a Development / Community Title Development / Standard / Building or Volumetric format. The meter(s) shall be accessible to BCC employees or agents for the purpose of reading and maintaining the meter(s). The meter(s) will become and remain property of the Brisbane City Council*



Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Restaurant Multi-Unit Dwelling Shop
Stage:	STAGE 2 Residential: Multi Unit Dwelling - Building D, and Shop/Restaurant (274.5m2)

**General/Planning Requirements**

	Timing
<b>165) Disabled Access</b>  Construct pedestrian circulation walkways from the street frontage to the foyer/lift doors of the development in accordance with AS 1428 Parts 1 - 4 Australian Standard for Access and Mobility with particular regard to: <ul style="list-style-type: none"> <li>i. Ramping requirements (including gradients and slip resistance);</li> <li>ii. Handrail requirements;</li> <li>iii. Visual impairment requirements for changes in gradient; and</li> <li>iv. Tactile tiling in a visually contrasting colour to both sides of the driveway crossover.</li> </ul> <b>GUIDELINE</b> <i>This condition is imposed to ensure external access areas are appropriately designed and constructed for the all users. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i>	Prior to the commencement of the use and then to be maintained
<b>166) Solar Protective Glass</b>  Provide solar protective / solar protected glass where screening devices are not provided to windows having a western aspect.  <b>GUIDELINE</b> <i>This condition is imposed to ensure an appropriate level of climatic control to provide a comfortable internal living environment. For any enquiries about this condition, please contact Architect Assessment.</i>	Prior to the commencement of the use and then to be maintained
<b>167) Stormwater Runoff from Balconies</b>  Stormwater runoff from each individual terrace/balcony, is to be collected internally from the centre of that balcony and be discharged to the internal stormwater drainage system for the site.  <b>GUIDELINE</b> <i>This condition is imposed to minimise the potential for run off from the balconies onto the park users and to avoid the water stain marks associated with drainage from balconies directly onto the side wall of buildings.</i>	Prior to the commencement of the use and then to be maintained
<b>168) Energy Efficiency</b>  This condition has been deleted as it is no longer applicable.	As indicated

<p><b>169) External Details</b></p> <p>Prior to issuing the relevant Development Permit for Building Works, submit to the satisfaction of the Principal Lead Planner, Development Assessment Team South, the following plans and details showing the facade treatments and external materials colours and finishes:</p> <ul style="list-style-type: none"> <li>a. A colour scheme showing materials and finishes to building D in accordance with the materials details noted on the approved plan (s) &amp; drawing(s);</li> <li>b. Notwithstanding the requirements of part (a) of this condition and the notations on the approved plans and drawings, the materials and finishes of the buildings must be high quality pre-finished materials and included with details required to be submitted by this condition;</li> <li>c. The schedule is to be submitted as a sample board including materials and actual paint swatches of the proposed external paint colours and accompanied by coloured elevations and a written tabulation of how particular parts of the structure and ancillary finishes are to be finished.</li> <li>d. Implement the above approved detailed design treatments.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the colours and materials used are appropriate for the intended character and image for the surrounding area. The requirement is intended to avoid a built form and street character that is dominated by glass surfaces, that increases local affects from reflectivity, glare and heat.</i></p>	<p>As indicated</p>
<p><b>170) Pre-Start Meeting</b></p> <p>Prior to site/building works commencing for each stage, undertake an on-site Pre Start meeting</p> <ul style="list-style-type: none"> <li>a. Co-ordinate the attendance of the relevant <b>development/ building/ arborist/ site consultants and contractors</b> with the following Brisbane City Council Officers or their nominated representatives:</li> </ul> <p><b>Principal Engineer</b>, Development Assessment Team South, Development Assessment</p> <p><b>Landscape Architect</b>, Development Assessment Team South, Development Assessment</p> <p><b>Principal Lead Planner</b>, Development Assessment Team South, Development Assessment</p>	<p>As indicated</p>

<p>b. This meeting is requested to discuss relevant site/building/operational work requirements for each stage, including but not limited to:</p> <ul style="list-style-type: none"> <li>Landscape Management and Site Works Plan (Riverwalk, Parkland and Private Land)</li> <li>Special Vegetation Management Plan</li> <li>Streetscape Works Plan</li> <li>Construction Management Plan</li> <li>Event Management Plan</li> <li>Construction parking</li> <li>Road &amp; Footpath Closure Permits and other additional permits</li> <li>Public &amp; Workplace Safety</li> <li>Maintenance of a pedestrian and cyclist thoroughfare through the site</li> <li>Compliance with Council's Erosion and Sediment Control Guidelines relating to earthworks on a construction site</li> <li>Tree protection measures</li> <li>Relocation of existing services</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area. Please telephone 3403 8888 to arrange a suitable meeting time.</i></p>	
<p><b>171) Information Signage</b></p> <p>Prior to any works commencing on the site and then to be maintained until completion of the development, erect on the Softstone Street and Tennyson Memorial Avenue frontages of the site, and in a location adjacent to the proposed access to Fairfield Road (between Fairfield Rd access and Orive Street), an "Information Sign" as outlined below:</p> <ul style="list-style-type: none"> <li>a. A brief description of the development proposed;</li> <li>b. The sign/ is to list the name, postal and/or email address and a contact telephone number for the following parties (where relevant) that are undertaking work on the site:</li> </ul> <ul style="list-style-type: none"> <li>Developer;</li> <li>Project Coordinator;</li> <li>Architect/Building Designer;</li> <li>Builder;</li> </ul>	<p>As indicated</p>

<p>Civil Engineer;</p> <p>Civil Contractor/s; and</p> <p>Landscape Architect;</p> <ol style="list-style-type: none"> <li>c. The lettering on the sign is to be at least 25 millimetres in height, be of regular weight and in sentence case;</li> <li>d. The sign is to be a minimum size of 1,200 millimetres by 900 millimetres;</li> <li>e. The maximum area of the sign is to be 2.0m<sup>2</sup>;</li> <li>f. The sign must be placed on or within 1.5 metres of, the road frontage for the land and mounted at least 300 millimetres above ground level;</li> <li>g. The sign must be placed on the road frontages as indicated above in this condition;</li> <li>h. The sign is to contain no commercial or corporate advertising other than the name, logo or slogan of the parties outlined in part (b) of this condition;</li> <li>i. The sign is to be non illuminated;</li> <li>j. Both the sign and the supporting structure are to be made of weatherproof material and to be properly maintained at all times; and</li> <li>k. The sign/s are to be located on the subject property and is to comply with the General Requirements for Signage contained within the Local Laws Policy "Control of Outdoor Advertising" specifically with regard to Traffic Safety, Clearances and Structural Systems.</li> <li>l. Prior to the erection of the sign, lodge a copy of the wording and proposed dimensions of the "Information Sign" with Council.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide information regarding the development and project team. Where signage is carried out in accordance with Permitted Advertisement provisions contained within the Local Law Policy "Control of Outdoor Advertising" the display of the sign is exempt from the payment of fees, the need for a licence or the making of an application.</i></p>	
<p><b>172) Plans/ Documents for Consultants/ Contractors</b></p> <p>Provide a copy of the Brisbane City Council approval package including the development approval conditions, approved plans &amp; documents and the Decision Notice to the following and as indicated (where applicable):</p> <ol style="list-style-type: none"> <li>a. all consultants preparing or lodging applications for "Operational Works";</li> <li>b. all consultants preparing or lodging applications to satisfy conditions requiring compliance assessment under Schedule 12 of the <i>Integrated Planning Regulation 1998</i>;</li> <li>c. all consultants preparing or lodging applications for "Carryout Building Works"; and</li> <li>d. all contractors carrying out site works or building works associated with or resulting from this Development Permit.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that all consultants, contractors and Building Certifiers involved with completing the development are aware of the particular requirements of this site.</i></p>	As indicated
<p><b>173) Demolish or Relocate Buildings</b></p>	As indicated

<p>Prior to building work for the proposed building commencing on the site undertake the following works.</p> <ol style="list-style-type: none"> <li>Remove the existing buildings on the site; and</li> <li>Cap all services to the building and stabilise the exposed ground surface with grass seeding.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that all structures are removed or relocated appropriately to ensure that no future legacy remains for the ultimate property owners. It should also be noted that the removal of structures includes the removal of all existing concrete slabs and foundations and footings of any removed structures.</i></p>	
<p><b>174) CMS Timing</b></p> <p>The Community Management Statement (CMS) for Building D will not be endorsed by Council until:</p> <ol style="list-style-type: none"> <li>The east west access road linking Softstone Street with Fairfield Road is dedicated as road; and</li> <li>The CMS for Buildings E and F has been endorsed; or</li> <li>The CMS for Buildings E and F and the CMS for Building D are submitted concurrently for endorsement; or</li> <li>A combined CMS for Buildings D, E and F is submitted for endorsement.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure an orderly development sequence for the residential buildings and the Tennyson Riverside Parkland.</i></p>	<p>As indicated</p>
<p><b>175) Approved Drawings &amp; Documents</b></p> <p>A legible copy of the approved drawings and documents bearing "Council Approval" and the Development Approval Conditions package is to be available on site at all times during construction and earthworks.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure compliance with the development conditions of approval. The copy of the conditions and plans should be located in any site management office or with the site foreman. Any copies of conditions or plans that are illegible shall be deemed to be non compliance with this condition of approval.</i></p>	<p>As indicated</p>
<p><b>176) Carry Out Approved Development</b></p> <p>Carry out the approved development generally in accordance with the approved document(s) and/or drawing(s) as amended in red.</p> <p><b>GUIDELINE</b>  <i>This condition refers to the approved plans, drawings and documents to which the approval relates and is the primary means of defining the extent of the approval. Approved plans, drawings and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of approval of the application by Council's Delegate.</i></p>	<p>While development is occurring on the site and then to be maintained</p>

<p><b>177) Complete All Building Work</b></p> <p>Complete all building work associated with this development approval, including work required by any of the following conditions. Such building work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents and, where the building work is assessable development, in accordance with a current development permit.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all building work associated with the use are in place before the use commences. It is not appropriate that the site be used without such work being completed. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you therefore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	<p>Prior to commencement of use</p>
<p><b>178) Complete All Operational Work</b></p> <p>Complete all operational work associated with this development approval, including work required by any of the following conditions. Such operational work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents or, if requiring a further approval from the Council, in accordance with the relevant approval(s).</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all operational works associated with the use are completed before the use commences. It is not appropriate that the site be used without such work being completed in accordance with any detailed design approvals. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you therefore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	<p>Prior to commencement of use</p>
<p><b>179) Maintain the Approved Development</b></p> <p>Maintain the approved development (including landscaping, parking, driveways and other external spaces) in accordance with the approved drawing(s) and/or documents, and any relevant Council engineering or other approval required by the conditions.</p> <p><b>GUIDELINE</b>  <i>This condition restricts changes that can be made to the approved development. Approved plans and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of determination of the application by the Council's delegate. The extent to which plans can be modified is constrained by the definition of 'minor change' in schedule 10 and the requirements of section 3.5.24 of the "Integrated Planning Act 1997". It will be necessary to make a new application if the change is not a minor change. For any enquires about this condition, please contact the Assessment Manager.</i></p>	<p>To be maintained</p>

<p><b>180) Community Management Statement</b></p> <p>Any Community Management Statement for the site is to contain the following requirements:</p> <ul style="list-style-type: none"> <li>a. All balconies and terraces shown on the approved drawings and documents, are to remain unenclosed with no shutters, glazing, louvres or similar permanent structures other than those consistent with the relevant "Brisbane City Plan 2000 - Residential Design-High Density Code", and clearly depicted on the approved drawings.</li> <li>b. The visitor parking spaces are to remain available for use by all bona-fide visitors, guests or invitees of the site's tenants.</li> <li>c. Provision on site for a minimum of 184 resident/tenants parking spaces.</li> <li>d. Provision on site for a minimum of 24 visitor parking spaces not included in an exclusive use area.</li> <li>e. One (1) visitor parking space is to be provided and signed for exclusive use by the on-site manager unit located in Building D.</li> <li>f. All external visitor parking bays on the site are to be freely available to bona-fide visitors to the State Tennis Centre or Tennyson Riverside Parkland for a maximum period of 6 hours every 24 hours.</li> <li>g. Visitor parking bays, including exclusive use visitor bays, are not to be fitted with a roller door, gate or similar device preventing access to visitor parking bays.</li> <li>h. No gates or similar devices are to be placed at the vehicle entry of the development preventing vehicle access to the site.</li> <li>i. Screening for any externally mounted airconditioning or mechanical plant installations in accordance with the following requirements:</li> </ul> <p>No unscreened installations on the proposed development are to be visible from the surrounding sites; and</p> <p>Any installations which are required to be located on roof, wall or garden areas are to be appropriately screened or shaped according to the acoustic requirements of this development package and so as to integrate in a complementary manner with the overall design of the roof, wall or garden area in which the installation is to be located.</p> <ul style="list-style-type: none"> <li>j. That the gym is to be</li> </ul> <p>located within Common Property;</p> <p>be restricted for use by residents, guests and invitees of the residential unit owners and/or tenants; and</p> <p>is not to be used for commercial uses other than management/letting activities associated with the Common Property.</p> <ul style="list-style-type: none"> <li>k. Stormwater runoff from each individual terrace/balcony, is to be collected internally from the centre of that balcony and be discharged to the internal stormwater drainage system for the site.</li> <li>l. All sealed traffic areas must be cleaned as necessary to prevent emissions of particulate matter.</li> </ul>	<p>As indicated</p>
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- m. Maintain a directional visitor parking sign at the vehicle entrances to the site adjacent to or clearly visible from the vehicle entrance to the site.
- n. The use of the pool, and pool surrounds are to be used only between the hours of 6am to 10pm seven days a week.
- o. Maintain the acoustic damping of any metal grills, metal plates or similar subject to vehicular traffic to prevent environmental nuisance.
- p. Noise levels for the pool filter and pump are to comply with the Environmental Protection Agency noise levels as stated in Section 6Y(1) of the Environmental Protection Regulation 1998 as amended from time to time.
- q. The use of the site for the purpose of the Shop and or Restaurant is to be in accordance with: the definition contained within the City Plan 2000; and is limited to a combined/maximum 274.5m<sup>2</sup> of Gross Floor Area and occupation by one (1) tenancy.

The 31m<sup>2</sup> of exclusive use storage associated with the use is to be accessible for general storage and refuse by both the Shop/ Restaurant and the on-site managers unit.

- r. Noise complaints associated with the Restaurant Tenancy in Building D are to be addressed by the Body Corporate.
- s. The adjusted average maximum sound pressure level from amplified music associated with the restaurant tenancy when measured at any sensitive land use must not exceed the A-weighted background sound pressure level ( $L_{A_{bg,T}}$ ) by more than the following amounts:
  - i. between 7am and 10pm - the adjusted maximum sound pressure level  $L_{A10}$ , plus adjustments for tonal and impulsive components, exceeding the background level  $L_{A90}$  by more than 10dB(A).
  - ii. between 10pm and 7am - the sound pressure level  $L_{OCT10}$  in a full octave band with centre frequencies from 63Hz to 2000Hz, exceeding the background  $L_{OCT90}$  by more than 8dB in any octave band.
- a. The use of the site for the purposes of an On-Site Managers Unit that will service Preliminary Approval Buildings A, B and C, along with Buildings D, E and F, is to be located on the site within Building D.
- b. The installation and maintenance of the sustainable elements outlined within the conditions of this approval package.

#### GUIDELINE

*This condition is imposed to ensure the ongoing operation, appearance and maintenance of the development under a Community Management Statement is in accordance with the development permit and the approved plans and documents. For any enquiries about this condition, please contact the Assessment Manager.*

#### 181) Access Easements

The following access easements are to be created and surrendered upon completion of Stage 2 (Building D), or at the time of the endorsement of the Community Management Statement for Building D:

As indicated



<ol style="list-style-type: none"> <li>1. Easement H in Lot 2 SP195275 - a temporary easement in favour of the Body Corporate to allow certain lot owners in Stage 1 (Building's E and F) to use a specific number of car park spaces (10) located on Lot 2 SP195275. Upon completion of Building D and the subdivision of Lot 2 by a Building Format Plan, the relevant carparking spaces will become Common Property and subject to the exclusive use by-laws attaching to the relevant lots, and the easement will be surrendered.</li> <li>2. Easement E in Lot 2 SP195275 - a temporary easement in favour of the Body Corporate for the purposed of right of way and services, and which will be surrendered upon the completion of Stage 2 (Building D - Lot 2 SP195275), or at the time of the endorsement of the Community Management Statement for Building D:</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to enable access to parking spaces located within Lot 2 on SP195275 and right of way services prior to the completion of Building D</i></p>	
<p><b>182) Expiration of Relevant Period</b>  All aspects of development as outlined within this section, to which the conditions relate in the "Development Approval Package", are to be completed before midnight on 30 November 2010.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed pursuant to 3.5.21A(2)(a) of the Integrated Planning Act 1997. The intent of this condition is to specify the particular time assessable development or an aspect of assessable development is to be completed before the development lapses. Any extension of the period stated in the condition is required to be made in accordance with Sections 3.5.22 and 3.5.33 of the Integrated Planning Act.</i></p>	As indicated
<p><b>183) Contamination</b>  Any land transferred to the Council for Public Purposes (Parkland or Community Facilities) and/or for Road Purposes is not be on the Environmental Management Register and or the Contaminated Land Register, unless agreed to by the future asset owner.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure the condition of the land is of a standard acceptable to the future asset owner.</i></p>	As indicated
<p><b>184) Overall Height - Survey Certification</b></p> <p>The overall height of the proposed buildings are to be in accordance with the following requirements:</p> <ol style="list-style-type: none"> <li>a. Construct the floor levels generally in accordance with the floor levels on the approved elevations and sections 00-DA0003 rev G, 51-DA1600 rev F, 51-DA1601 rev F, with the maximum building</li> </ol>	Prior to commencement of use

<p>height (including lift overruns, roof plant, and 'pop-up' structures) not to exceed the following:</p> <p>Minimum Habitable Floor Level: 8.40 AHD</p> <p>Car Park Podium: 15.00 AHD</p> <p>Building D: 48.52 AHD and 40.50 AHD for the eastern stepped section and 39.50 AHD for the western stepped section.</p> <p>Except for the western end of Level 10 and the eastern end of Level 11 as illustrated on the approved Elevations 51-DA1600 Rev F and 51-DA1601 Rev F</p> <p>b. Submit certification from a licensed surveyor that the as-constructed floor levels and maximum building heights are in accordance with part (a) of this condition. This information is to be submitted to the Delegate, Development Assessment Team</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure the floor levels and maximum overall height of the proposed building is in accordance with the development approval. The relaxation of the maximum height limit is to permit a minor encroachment of the roof line. This encroachment shall not exceed 200mm and is only permitted for the area shown on the approved plan and is not to extend further than this area. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i></p>	
<p><b>185) Public Artworks</b></p> <p>Any artwork proposed to be provided in the Tennyson Riverside Parkland is to be designed in accordance with the Public Riverside Facilities Design and Maintenance Guidelines and satisfy the following criteria;</p> <p>a. Be suitable for the setting in terms of design, choice of materials, durability and resistance to vandalism; and,</p> <p>b. Be satisfactory to the owner/developer of the subject site and the Team Leader, Development Assessment Team South. Details of the location and nature of the proposed artworks are to be included in the detailed Landscape Plan and approval of the Delegate is to be obtained prior to installation of such works.</p> <p><b>GUIDELINE</b>  <i>This condition recognises the importance of the proposed development and is intended to ensure that artwork will enhance the development and the Tennyson Riverside Parkland.</i></p>	<p>Prior to commencement of use</p>
<p><b>186) Pool Hours</b></p> <p>Use of the Pool pump and pool filter are to comply with the following:</p> <p>a. Noise levels for the pool filter and pump are to comply with the Environmental Protection Agency noise levels as stated in Section 6Y(1) of the Environmental Protection Regulation 1998 as amended from time to time.</p> <p>b. The use of the pool, and pool surrounds are to be used only between the hours of 6am to 10pm seven days a week.</p> <p><b>GUIDELINE</b></p>	<p>Prior to the commencement of the use and then to be maintained</p>

<p><i>This condition is imposed to minimise any nuisance effects of the pool to adjoining residents. Hours are as specified in discussions with adjoining land owners.</i></p>	
<p><b>187) Residential Development - Constructed with Requirements</b></p> <p>Construct and maintain the residential development to include the following:</p> <ol style="list-style-type: none"> <li>Fixed, external privacy screens or fixed obscure glazing to the upper floor windows as shown on the approved plans 51-DA1030-Rev C &amp; 51-DA1031-Rev C, 51-DA1040-Rev D &amp; 51-DA1041-Rev D;</li> <li>Privacy screens are to be in accordance with the approved plans as per part a. of this condition.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to identify important design details of the dwelling or where these necessary design details are not indicated on the approved plans.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>188) Fencing and Retaining Walls</b></p> <p>All fencing, retaining walls, mechanical ventilation constructed to the Tennyson Riverside Parkland boundary of the site shall be generally in accordance with the following:</p> <p><u>Fencing</u></p> <ul style="list-style-type: none"> <li>All fencing (including footings/foundations and maintenance course) is to be a maximum height from finished ground level of 1.8 metres; and</li> <li>The 1.8 metre high fence is to be of semi transparent design (75% transparency) fence along the dwelling units and terrace /recreational area facing the park as indicated on the approved plans. The colour of fencing shall blend with the landscape area ie. earthy tonal colours, so as not to detract from the riverscape or be visually intrusive when viewed from the Brisbane River.</li> </ul> <p><u>Retaining Walls</u></p> <ul style="list-style-type: none"> <li>No retaining walls are to be constructed along the riverside park boundary; and</li> <li>Where retaining walls are proposed within the landscape setback from the Tennyson Riverside Parkland, the retaining wall shall be screened and coloured such that they blend with the landscape area ie. having earthy tonal colours, so as not to detract from the riverscape or be visually intrusive when viewed from the Brisbane River.</li> </ul> <p><u>Mechanical Ventilation/Exhausts</u></p> <ul style="list-style-type: none"> <li>No mechanical ventilation/exhausts are to be constructed along the Tennyson Riverside Parkland boundary including any pedestrian walkway and</li> <li>Where mechanical ventilation/exhausts are proposed within the landscape setback from the riverside park, the structure shall be screened and coloured such that they blend with the landscape area ie. having earthy tonal colours, so as not to detract from the</li> </ul>	<p>Prior to the commencement of the use and then to be maintained</p>

riverscape or be visually intrusive when viewed from the Brisbane River.

**GUIDELINE**

*This condition is imposed to ensure visual privacy between the development and adjoining properties and to minimise the impacts on the visual amenity when the development is viewed from the public parkland. This condition is also imposed to ensure that the design and height of the fence will enable adequate surveillance between the park and the residential units. The fencing within each stage must be erected and completed prior to the commencement of the use of that stage of the development.*

**189) Sustainability**

The following sustainable features are to be installed and maintained within the proposed development (as indicated):

Prior to the commencement of the use and then to be maintained

<b>Individual privately-owned units</b>	Toilets	4-Star rated dual flush
	Showers	3-Star rated showerhead
	Basin & Sink Taps	<ul style="list-style-type: none"> <li>4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps</li> <li>No 'insinkerators' are to be installed</li> </ul>
	Smart Water Meters	Install water meters to each unit to monitor water usage (this does not replace the Council water meter)
	Dishwasher	4-Star rated dishwasher
<b>Body Corporate-managed areas</b>	Basin & Sink Taps	4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps
	Pool	Pool covers are to be provided and maintained to any swimming pools or spas installed
	Pressure limiting devices on domestic water service lines	Pressure reducing valves set to a maximum of 300kPa. Valves installed to serve clusters of units with a minimum of 1 valve per floor level
	Irrigation system	<ul style="list-style-type: none"> <li>Subsurface or microjet spray/dripper system and controlled using soil moisture sensors</li> <li>Programmable irrigation controller with rain sensor</li> <li>Sub water meters on irrigation supply line</li> </ul>
	Outdoor taps	<ul style="list-style-type: none"> <li>Trigger nozzles on all outdoor hoses</li> <li>3-Star rated flow regulating devices installed in pipework upstream of all outdoor taps</li> </ul>
	Rainwater tank	<ul style="list-style-type: none"> <li>Rainwater storage tank(s)</li> <li>Rainwater tank plumbed into irrigation system</li> <li>Rainwater tank plumbed into any pool top-up</li> </ul>

	Smart Water Meters	<ul style="list-style-type: none"> <li>o Rainwater tank plumbed into car / bin washing area</li> </ul> Install water meters to the water supply servicing the Body Corporate areas to monitor water usage (this does not replace the Council water meter)
<p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that the development is sustainable in terms of careful and efficient use of water utilising current best practice. This condition acknowledges that an installation of the clothes washer may not be provided by the developer.</i></p>		
<p><b>190) Pool Filter and Pump Attenuation</b>            Provide an enclosure around the pool filter and pump. The enclosure is to be sealed block work with concrete lid, solid door mounted in a steel frame built into the block work with acoustic seals to all four edges of the door. If ventilation is required these must be acoustically treated grilles.</p> <p><b>GUIDELINE</b>  <i>This condition is to ensure that acoustic levels are maintained so as to protect the amenity of adjoining land owners.</i></p>	Prior to the commencement of the use and then to be maintained	
<p><b>191) On-Site Managers Unit</b></p> <p>The use of the site for the purposes of an On-Site Managers Unit is to be located on the site within Building D, as shown on Approved Plans 51-DA1042 Rev F "Gross Floor Area Calcs L01, Building D" and 51-DA1011 Rev H "Development Approval General Arrangement Plan Building D - Level 01" (amended in red).</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to identify the location of the On-Site Managers Unit.</i></p>	To be maintained	
<p><b>192) Commercial Use</b></p> <p>The use of the site for the purpose of the Shop and or Restaurant is to be in accordance with: the definition contained within the City Plan 2000; and is limited to a combined/maximum 274.5m<sup>2</sup> of Gross Floor Area as shown on approved plan 51-DA1042 Rev F, dated 30 July 2007; occupation by one (1) tenancy; and is located on the site as shown on approved plan 51-DA1042 Rev F "Gross Floor Area Calcs L01, Building D" (as amended in red).</p> <p>The 31m<sup>2</sup> of exclusive use storage associated with the use is to be accessible for general storage and refuse by both the Shop/ Restaurant and the on-site managers unit.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to identify the location of the shop use on the</i></p>	To be maintained	

site and limit its floor area.

### Monetary Contributions and Securities

	Timing
<p><b>193) Pay Outstanding Charges or Expenses</b>            Pay to Council any outstanding charges or expenses levied by the Council over the subject land.</p> <p><i>GUIDELINE</i>  <i>This condition is imposed to ensure that there are no outstanding charges existing over the subject site, including outstanding rates. If there are outstanding monies, they must be paid prior to commencement of the use.</i></p>	Prior to commencement of use
<p><b>194) Sewerage: Per Et (Equivalent Tenement)</b></p> <p>Pay to Council a monetary contribution towards the cost of sewerage headworks, as outlined below, <b>at the rate prevailing when the contribution is paid</b>. This payment must be made prior to the issue the Plumbing Compliance Certificate for the site.</p> <p>The contribution is calculated on 86.40 ETs (Equivalent Tenement) at the current rate of \$5,717.00 per ET, for Sewerage Scheme Charge Area - S2, MLBN01. A credit for the existing use on the site has been included in this calculation.</p> <p>The amount payable is currently assessed at \$493,949.00 and comprises of the following:</p> <ul style="list-style-type: none"> <li>• Treatment Headworks component: \$169,258.00</li> <li>• System Headworks component: \$324,691.00</li> <li>• Total contribution: <b>\$493,949.00</b></li> </ul> <p>This headwork charge is the current rate for the 2007/2008 financial year.</p> <p><i>GUIDELINE</i>  <i>This condition is imposed to require the payment of a proportional contribution towards a satisfactory sewerage treatment system within the locality of the site. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	As indicated
<p><b>195) Water Supply: Per Et (Equivalent Tenement)</b></p> <p>Pay to Council a monetary contribution towards the cost of water supply headworks, as outlined below, <b>at the rate prevailing when the contribution is paid</b>. This payment must be made prior to the issue of the Plumbing Compliance Certificate for the site.</p> <p>The contribution is calculated on 77.76 ETs (Equivalent Tenement) at the current rate of \$5,878.00 per ET, for Water System Infrastructure Charges Plan Area - Mt Crosby South, W9. A credit for the existing use on the site has been included in this calculation.</p> <p>The amount payable is currently assessed at \$457,073.00 and comprises of the following:</p> <ul style="list-style-type: none"> <li>• Treatment Headworks component: \$80,715.00</li> <li>• Distribution Head works component: \$376,358.00</li> </ul>	As indicated

<p>e Total contribution: \$457,073.00</p> <p>This headwork charge is the current rate for the 2007/2008 financial year.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to require the payment of a proportional contribution towards a satisfactory water supply treatment system to the site. For any enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	
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**Architecture**

	<b>Timing</b>
<p><b>196) Balconies &amp; Terraces - Unenclosed (City Plan)</b>            Treatment of balconies and terraces. All balconies and terraces shown on the approved drawings and documents, are to remain unenclosed with no shutters, glazing, louvres or similar permanent fixtures other than those consistent with the relevant "Brisbane City Plan 2000 - Residential Design - High Density Code" and clearly depicted on the approved drawings.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to minimise bulk and protect the appearance of the development within the area. For any enquiries about this condition, please contact the Assessment Manager, Development Assessment.</i></p>	Prior to the commencement of the use and then to be maintained
<p><b>197) Screening to Ext. Air Con or Mechanical Plant</b>            Provide screening for any externally mounted airconditioning or mechanical plant installations in accordance with the following requirements:</p> <ol style="list-style-type: none"> <li>No unscreened installations on the proposed development are to be visible from the surrounding sites; and</li> <li>Any installations which are required to be located on roof, wall or garden areas are to be appropriately screened or shaped according to the acoustic requirements of this development package and so as to integrate in a complementary manner with the overall design of the roof, wall or garden area in which the installation is to be located.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure appropriate visual outcomes in relation to mechanical plant areas. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i></p>	Prior to the commencement of the use and then to be maintained

**Ecology**

	<b>Timing</b>
<p><b>198) VMP - Vegetation Management Plan</b>            Protect and enhance existing vegetation, fauna and habitat features on the subject site.</p> <ol style="list-style-type: none"> <li>Submit a Vegetation Management Plan (VMP) and obtain approval from the Delegate, Development Assessment. The VMP is to be in the form of scaled plans and supporting documentation generally</li> </ol>	To be lodged prior to or concurrently with any other operational works application

in accordance with Vegetation Retention Plans BO4254-SK70 & SK71 and associated schedules that includes at least the following information:

The extent of the VMP is to include evaluation of all areas including, proposed road reserves, external works and development areas;

The location and description of existing vegetation including species and botanical name plus the height and canopy spread;

The location and extent of all site works including all proposed infrastructure and areas of earthworks.

Detail design of all civil works is to be cognisant of environmental values. Alternative solutions may be required in some instances, to protect significant vegetation (eg alternative service alignments, variations to batter slopes and tunnel boring);

The location and description of all vegetation to be retained and that to be removed;

A description of all measures to be used to protect vegetation and habitat features to be retained during construction;

A description of all pruning and tree surgery works (to AS 4373/96) to maintain health and stability of trees and reduce potential hazards for future residents;

The location and extent of storage and stockpile areas for cleared vegetation and site mulch;

A description of all methods to salvage and/or re-use cleared vegetation. Generally cleared vegetation is to be mulched for reuse in landscape/rehabilitation works; and

Details of all measures to protect and recover fauna during clearing operations, including; presence of a qualified wildlife officer during clearing operations, preclearing inspections, staging and sequence of clearing and recovery procedures.

- b. Prior to site works commencing, arrange a pre-start meeting with the Delegate, Licensing and Compliance;
- c. Prior to survey plan endorsement, protect, enhance and manage vegetation by implementing the requirements and carrying out the works in accordance with the approved VMP.

#### **GUIDELINE**

*This condition is imposed where the site contains vegetation, fauna and habitat features that should be retained, protected and/or managed as part of the development of the site. Before carrying out any site works it will be necessary to obtain a detailed design approval from the Council by submitting an application accompanied by a Vegetation Management Plan. Once the works are implemented, it will be necessary to arrange for the Delegate, Licensing and Compliance, Development and Regulatory Services, to inspect and approve them. For enquiries about this condition, please contact the Ecologist, Development Assessment.*

### **Landscape Architecture and Open Space Planning**



	Timing
<p><b>199) Arborist Tree Report</b></p> <p>a. Submit together with the Vegetation Management Plan, a detailed arborist's report for the works proposed in the land to be dedicated to Council in trust for Public Purposes (Parkland and Community Facilities) This report is to be generally in accordance with the Vegetation Management Plan as submitted to the Ecologist Development Assessment South and be prepared by a qualified arborist (minimum Level 5) for the existing trees located within the land to be dedicated to Council in trust for Public Purposes. The arborist report must include but not be limited to the following information:</p> <p style="padding-left: 40px;">To be lodged prior to or concurrently with any other operational works application - Details of the subject trees to be removed and retained including: height, spread, diameter at breast height (DBH), species and canopy spread and valid reasons for removal. Health concerns for the vegetation are to be clearly indicated in the report for any trees to be removed;</p> <p style="padding-left: 40px;">Where works are proposed within the canopy zone of trees for retention then recommendations on clearances, suitable material/s and construction technique/s for paving surrounding these trees are to be provided;</p> <p style="padding-left: 40px;">Where trees are proposed for retention provide the tree protection zone details and extent;</p> <p style="padding-left: 40px;">Proposed measures to be undertaken to retain vegetation without effecting the health;</p> <p style="padding-left: 40px;">Description of any best practice root and canopy works;</p> <p style="padding-left: 40px;">Clear indication of the extent of any canopy pruning required for vehicle access clearance, dead wooding and any canopy lifting required to provide a visual balance;</p> <p style="padding-left: 40px;">Detailed site management and tree protection techniques to be undertaken during construction;</p> <p style="padding-left: 40px;">Post construction management techniques; and</p> <p style="padding-left: 40px;">Monitoring as deemed necessary.</p> <p>b) Obtain approval from the Delegate, Development Assessment for the above requirements.</p> <p><b>GUIDELINE</b>  <i>This condition is intended to identify and ensure the retention of existing vegetation within the proposed parkland can be managed to ensure its longevity. In preparing this report consideration should also be given to the matters contained within the Vegetation Management Plan.</i></p>	<p>As indicated</p>

<p><b>200) Parkland Landscape Management Plan</b></p> <p>Undertake and maintain the following Landscape Management and Site Works within the proposed Parkland as indicated below:</p> <p>a. Submit a Landscape Management and Site Works Plan for the works proposed in the Council parkland and obtain approval from the Delegate, Development Assessment. This plan is to be lodged prior to or concurrently with any other operational works application. This plan is to be generally in accordance with the Landscape Master Plan dated July 2006 as amended in red, and is to include the following:</p> <p><u>A description of existing site conditions and proposed site preparation, including:</u></p> <p>Existing contours and proposed finished levels including sections across and through the parkland at critical points;</p> <p>Location of all underground services existing within the proposed parkland (eg. the depth and route of any drainage, water reticulation, sewerage, electricity, gas, telecommunications etc.);</p> <p>Location of existing vegetation in the parkland including species names, height and spread of canopy and clearly indicating vegetation to be retained and provide the reasons for removing or disturbing other vegetation. Where pathway locations conflict with significant vegetation then they area to be relocated. Specify methods of recycling vegetation where possible;</p> <p>Location and description of any vegetation and landscape features on adjoining properties with the potential to impact upon the proposed parkland. Also include the location and description of all existing and proposed fencing and retaining walls within and abutting the parkland;</p> <p>Demolition work of any kind to be carried out within the parkland;</p> <p>Any feature of cultural or heritage significance within the parkland;</p> <p>Location, extent and comprehensive details, including cross-sections of permanent and temporary water bodies/courses, drainage and stormwater works, and</p> <p>Proposed stormwater structures that will mitigate the impacts of stormwater flows within the parkland.</p> <p><u>Identification of a general scope of work, including the following:</u></p> <p>Removal of weed species, barbed wire, building materials, rubbish, debris and other obstacles which may present a public liability risk;</p> <p>Provision of erosion control measures where required;</p> <p>Provision of a 25mm reticulated water service to the park;</p>	<p>As indicated</p>
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Provision of a power connection to the park;

Indication of protection measures from damage for existing vegetation to be retained;

Construction (prior to the commencement of works) of a star picket fence around the proposed parkland to protect from vehicular damage and storage of materials. The fence is to be inspected by the Delegate, Licensing and Compliance, and remain on-site until Practical Completion (On-maintenance);

Construction of vehicular barriers/bollards along park frontages to prevent unauthorised vehicular access to the park;

Provision of a lock-rail access point for maintenance vehicles to each road frontage;

Specifications, contours and levels for any proposed bikeways, footpaths, roadways and parking in the proposed parkland;

Proposed building and development works including location of all services, park furniture, picnic facilities and play equipment etc.;

Surface treatments and extent of proposed planting;

Topdressing and planting with perennial grasses of all open areas, grassing is to achieve 80% coverage at the time of Practical Completion (On-maintenance);

A Plant Schedule itemising all proposed plants by botanical name and specifying total plant numbers and size at the time of planting.

Site specific works:

**Demonstrate compliance with Brisbane City Council's "Public Riverside Facilities Design and Maintenance Manual", dated July 2003;**

All furniture to be supplied in accordance with Council's preferred supply list and to the satisfaction of the Landscape Architect Development Assessment South;

Provide details of proposed pavement treatments to landscape areas for stormwater infiltration;

Provide details of proposed pedestrian handrails and barriers to river edge interfaces;

Provide details of any proposed fencing interfaces with adjoining land. Where fences abut adjoining council land they are to be a minimum of 50% transparent pool style fencing;

Provide heights, extent and locations of proposed retaining walls. Propose retaining walls within the public realm are to be less than 1m high;

Provide details of proposed bicycle / pedestrian pathway in accordance with part (b) of this condition;

All pathway and accessways are to be designed in accordance with regard to the relevant Australian Standards. Pathways are to be a maximum of 1:20 grade and designed in accordance with AS1428.1. Riverfront pathways are to be adjusted in width, radii and grades as required to comply with Austroads specifications with regard to bikeways;

Reduce the extent of planting within the public realm to ensure maximum widths of 3.5m. Species are to be selected for hardiness and low maintenance. A mixture of low shrubs, groundcovers and clear trunk trees are to be provided to ensure sightlines are maintained and issues of CEPTED adequately addressed. Shrub planting is to be provided at key locations to ensure screening of blank or undesirable walls or elements or mechanical plant;

Planting is to comprise a minimum of 70% native species to the Greater Brisbane Area. Species are to be suitable for the riparian / marine environment and be selected in accordance with **Brisbane City Council's "Public Riverside Facilities Design and Maintenance Manual", dated July 2003;**

Detailed construction documentation is to be provided for the proposed bioretention gardens. Gardens are to be clearly demonstrated to be low maintenance and maintenance accessible;

Provide construction level detail of all proposed works within the public parkland.

Provide ex-ground stock large riparian canopy trees eg. AGATHIS robusta, ARAUCARIA cunninghamii, ELAEOCARPUS grandis, in grouped or single plantings. These are to be spaced according to the species' mature size requirements to the open space areas and be located so as to provide visual attenuation to the built form;

Provide specification and details for all paving areas in accordance with the general requirements of Council's Centre Detail Design manual. Finishes are to be specified to the satisfaction of landscape Architect Development Assessment South.

Details of a costing and maintenance program, including the following:

Costing of all works indicated on the Landscape Management and Site Works Plan; and

Details of a 12-month maintenance plan for all proposed landscaping, including staging of works and time schedules, methods of establishment and projected ongoing maintenance costs.

b) Shared pedestrian/bicycle path within the Tennyson Riverside Park is as follows:

Is designed generally in accordance with EDAW Riverside Park Promenade Drawing L-2038-A1L-205 dated 29/09/06

as amended in red and Pedestrian & Bicycle Pathways Plan M-SP-RP.DA, Rev H, dated July 06 and amended in red 19 September 2006, to show path widths;

Is designed according to the specification of the Public Riverside Facilities Design and Maintenance Manual;

No part of the riverside pathway, including handrails and fencing, extends over the property alignment of the site to the Brisbane River;

Where the total width of the parkland (measured from the building edge to site boundary) is less than 10 metres, the pathway is located as close as practicable to the alignment of the site to the Brisbane River; and

Where the access width is less than 10 metres, surface finishes are to be limited to one or more of the following:

concrete;

hardwood timber decking;

vegetated garden areas; or

other surface treatment as approved by the Landscape Architect, Development Assessment Team South.

c) Provide a monetary contribution bond for the on going maintenance cost of the proposed the above works within the parkland.

The bond is to be held in trust until such time as:

the total area of 1.87 hectares of land is transferred to the Brisbane City Council in fee simple on trust for Public Purposes; and

the final park transfer is accepted "off maintenance" as a Council asset by the Delegate of Council.

d) Prior to the commencement of the use or prior to endorsement of a community management statement, whichever is sooner, carry out the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice and to a standard that will be satisfactory to be accepted "On-maintenance" (Practical Completion) and "Off-maintenance" (Final Completion) as a Council asset, by the Delegate, Licensing and Compliance.

e) Maintain the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice and to a standard that will be satisfactory to be accepted "On-maintenance" (Practical Completion) and "Off-maintenance" (Final Completion) as a Council asset, until such time as:

f) The total area of 1.87 hectares of land is transferred to the Brisbane City Council in fee simple on trust for Public Purposes; and

<p>the final park transfer is accepted "off maintenance" as a Council asset by the Delegate of Council.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when proposed parkland is to be transferred to the Brisbane City Council in trust. The required works are the minimum works that are required to ensure that the proposed parkland is acceptable for transfer. For further details on parkland design, please refer to Council's "Environmental Best Management Practices" document for parkland (EBMP) and "Public Riverside Facilities Design and Maintenance Manual".</i></p>	
<p><b>201) Dedicate Parkland</b></p> <p>Transfer to the Brisbane City Council, in fee simple on trust for Public Purposes (parkland and community facilities) land indicated on the approved drawings and documents having an area not less than 0.6892 Hectares.</p> <ol style="list-style-type: none"> <li>Submit to the Delegate Plan Sealing, Licensing Sealing and Certificates Unit, a Survey Plan showing in detail the land to be dedicated.</li> <li>Lodge the Endorsed Survey Plan with the Registrar of Titles, Department of Natural Resources.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition represents the park contribution for the relevant stage and is based on the section 5.1.2 of IPA</i></p>	<p>Prior to the commencement of the use or prior to the endorsement of a Community Management Statement, whichever is sooner</p>
<p><b>202) Detailed Plan - MUD</b></p> <p>Prepare and landscape the site in accordance with a Landscape Management, Site Works and Planting Plan.</p> <ol style="list-style-type: none"> <li>Submit and receive approval by the Delegate, Development Assessment for a detailed Landscape Plans for all private on-site landscape works identified on the approved Landscape Management Plan dated July 2006 and Site Masterplan M-SP-RP.DA, rev H, dated July 2006 and amended in red 19 September 2006. The plans are to be prepared at a scale of 1:100 or 1:200 by a suitably qualified and experienced Landscape Architect/Designer, and must comply with the "Brisbane City Plan 2000- Landscaping Code". The plan should include the following:</li> </ol> <p><u>Siteworks:</u></p> <p>Identification, protection and retention of the existing vegetation as identified in the Vegetation Management Plan, to be submitted concurrently to the Ecologist Development Assessment South;</p> <p>The extent of soft and hard landscape works;</p> <p>Extent of basement and roof lines;</p> <p>Full extent of carpark works including but not limited to; WSUD</p>	<p>Prior to site works commencing</p>

principles, permeable paving, and stormwater infiltration areas.  
Full details of any bioretention swales, infiltration gardens etc.;

Locations of bin enclosures with adequate screening and attenuation;

Clear and easily accessible pedestrian pathways as amended in red on the approved plans of layout to show a pedestrian pathway along the north western interface with the external visitor car park. Paths are to be in accordance with AS1428.1;

Location and details (heights, materials) of fencing, retaining walls and ramps;

Existing and proposed finished levels to external works particularly in critical areas (eg. top and toe of retaining walls and steps);

Provide detailed sections of critical interface areas between private and public land;

Description/detail of critical design elements where applicable (eg. stabilisation of batters, podium planters);

A minimum 50m<sup>2</sup> is to be provided as communal open space per building. Private open space provisions are to be entirely exclusive of public areas;

Provide a selection of plant stock in 200 litre bags and ex-ground stock large riparian canopy trees eg. AGATHIS robusta, ARAUCARIA cunninghamii, ELAEOCARPUS grandis, in grouped or single plantings. These are to be spaced according to the species' mature size requirements to the open space areas and be located so as to provide visual attenuation to the built form;

Basic specification notes for soil preparation and planting, including mulching and soil types both existing and imported; and

Provision of at least one hosecock to each garden area, and a reticulated irrigation system with connection to a non-mains supply to all common landscape areas.

#### Planting:

A planting schedule listing proposed plants by botanical names, numbers and size at time of planting;

Shade trees at ratio of 1 per 6 carparking bays;

Planting is to comprise a minimum of 70% native species to the Greater Brisbane Area. Species are to be suitable for the riparian / marine environment and be selected in accordance with **Brisbane City Council's "Public Riverside Facilities Design and Maintenance Manual", dated July 2003;**

Tiered planting consisting of trees, shrubs and groundcovers to all garden areas;

Screen planting including columnar trees and screen shrubs to common boundaries of the site; and

Provision of canopy trees at regular spacing dependent on the mature size characteristics adjacent to the street frontage(s) of the

<p>site.</p> <ul style="list-style-type: none"> <li>b. Carry out the landscaping and associated works documented in the approved Landscape Management and Site Works Plan in accordance with standard Best Trade Practice.</li> <li>c. Advise Council upon completion of the landscape works by completing the development details and Part B of the Compliance Certificate-Landscaping.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed when there is a landscape component to a High Level development application, and Council requires more details of the proposed landscape works.</i></p>	
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**Pollution**

	Timing
<p><b>203) Amplified Music</b></p> <p>At all times, the adjusted average maximum sound pressure level from amplified music from the restaurant tenancy when measured at any sensitive land use must not exceed the A-weighted background sound pressure level (<math>L_{A_{bg,T}}</math>) by more than the following amounts:</p> <ul style="list-style-type: none"> <li>i. between 7am and 10pm - the adjusted maximum sound pressure level <math>L_{A10}</math>, plus adjustments for tonal and impulsive components, exceeding the background level <math>L_{A90}</math> by more than 10dB(A).</li> <li>ii. between 10pm and 7am - the sound pressure level <math>L_{OCT10}</math>, in a full octave band with centre frequencies from 63Hz to 2000Hz exceeding the background <math>L_{OCT90}</math> by more than 8dB(A) in any octave band.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that noise emissions from amplified music does not cause environmental harm or nuisance at a noise sensitive place. Amplified music is to be limited to low level background music only. Low level background music is defined as the level of music at which customers can have conversation without raising their voices due to background music. The time period specified above reflect the limitations/restrictions for any future operational requirements for the cafe/restaurant.</i></p>	As indicated
<p><b>204) Acoustic Report</b></p> <p>The proposed residential units are required to comply with the following.</p> <ul style="list-style-type: none"> <li>a. Submit a revised acoustic report for approval by the Pollution Officer Development Assessment Team South which demonstrates that the proposed residential development will achieve the relevant maximum recommended design sound level specified in Australian Standard AS2107, "Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors" using the methods set out in Australian Standard AS3671- "Acoustics -Road Traffic Noise Intrusion Building Siting and Construction".</li> <li>b. At the time of construction, design and construct all proposed residential units affected by road traffic in accordance with the building treatments recommended in the revised approved acoustic consultants report to achieve the relevant maximum</li> </ul>	Prior to site works/building works commencing



<p>recommended design sound levels specified in Australian Standard AS2107 "Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors" using the methods set out in Australian Standard AS3671- "Acoustics - Road Traffic Noise Intrusion Building Siting and Construction".</p> <p>c. Prior to the commencement of the use, submit certification from an independent and appropriately qualified acoustic consultant which demonstrates that the necessary acoustic treatments referred to in the approved acoustic consultant's report have been implemented into the buildings envelope of the proposed dwellings to achieve the relevant maximum recommended design sound level specified in Australian Standard AS2107, "Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors".</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that noise impacts on the residential units are adequately managed.</i></p>	
<p><b>205) Plant and Equipment Certification</b></p> <p>Following the installation of all mechanical plant and equipment for café/restaurant, submit certification to the Pollution Officer - Development Assessment, South Team that the plant and equipment is adequately noise-attenuated in accordance with Brisbane City Council's Noise Impact Assessment Planning Scheme Policy.</p> <p><b>GUIDELINE</b>  <i>This condition has been imposed to ensure that plant and equipment noise is appropriately attenuated for residential receptors.</i></p>	<p>Prior to commencement of use</p>
<p><b>206) Restaurant Noise</b></p> <p>Submit certification from an independent and appropriately qualified acoustic consultant demonstrating:</p> <ul style="list-style-type: none"> <li>i. the floor/ceiling slab and common walls (to a residential unit) of the restaurant have been acoustically treated to achieves a minimum attenuation of 50 dB; and</li> <li>ii. the units sharing a floor/ceiling slab and/or common walls with the restaurant tenancy (3 units) have attenuation to ensure an internal sound pressure of 40 dB(A) <math>L_{Aeq}</math> is not exceeded by implementing the acoustic attenuation identified in (i) above.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed where acoustic attenuation is required in building structure to ensure that sensitive receptors are not subject to excessive noise.</i></p>	<p>Prior to commencement of use</p>
<p><b>207) Acoustic Barrier - General</b></p> <p>Erect a 2.0m high acoustic barrier (relative to the finished RL of the terrace ) for nine (9) metres along the eastern boundary of the</p>	<p>Prior to the commencement of the use and then to be maintained</p>

<p>café/restaurant open terrace area adjoining residential unit 1 on level 01 within building D as shown in red on plan AB SK01. The acoustic barrier must:</p> <p><b>GUIDELINE</b>  <i>This condition is imposed where an acoustic barrier is required to ensure the sensitive receptors are not subject to excessive noise in accordance with the Noise Impacts Assessment Planning Scheme Policy. For further information please contact the Pollution Officer, Development Assessment. Certification must be in accordance with Brisbane City Council Guideline Certification of Noise Compliance.</i></p> <p><b>PROOF OF FULFILMENT</b>  <i>Certification of construction is provided to the Pollution Officer, Development Assessment.</i></p> <p><b>207(a) Material Weight</b></p> <p>Be constructed of a material with a minimum surface area density of 10 kg/m<sup>2</sup>;</p> <p><b>207(b) Material Type</b></p> <p>Be constructed of an aesthetically pleasing weather-resistant material that matches the existing building;</p> <p><b>207(c) Gap Free</b></p> <p>Be otherwise continuous and gap free.</p>	<p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p> <p>Prior to the commencement of the use and then to be maintained</p>
<p><b>208) Dampening of Grills and Metal Plates</b>  Any metal grills, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that noise vehicle movements do not cause environmental nuisance.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>209) Traffic Areas - Cleaned</b>  All sealed traffic areas must be cleaned as necessary to prevent emissions of particulate matter.</p> <p><b>GUIDELINE</b>  <i>The condition is imposed to prevent particulate emissions from traffic areas.</i></p>	<p>To be maintained</p>
<p><b>210) Car Wash Bay</b>  Construct a car wash bay for the washing of vehicles. The car wash bay shall be provided with a tap, paved with an impervious material, graded and drained to sewer in accordance with a hydraulics plan approved by the Principle Officer Plumbing, Development &amp; Regulatory Services.</p>	<p>Prior to the commencement of the use and then to be maintained</p>

<p><b>GUIDELINE</b>  <i>This condition recognises the need to provide a facility for a car wash bay within the site</i></p>	
<p><b>211) Acid Sulfate Soils Management Plan</b></p> <p>Prior to site works commencing, acid sulfate soils must be appropriately managed as detailed below:</p> <ol style="list-style-type: none"> <li>While site/operational works/building works is occurring, implement an Acid Sulfate Soils Management Plan prepared by Soil Surveys dated March 2006 in accordance with the <i>State Planning Policy 2/02 Planning and Managing Development Involving Acid Sulfate Soils</i> and associated guidelines and technical documents.</li> <li>Prior to the commencement of the use, provide certification to the Pollution Officer, Development Assessment, Development and Regulatory Services that an Acid Sulfate Soils Management Plan, has been developed and implemented.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed where: Works are proposed on sites that contain acid sulfate soils or potential acid sulfate soils; the applicant has submitted an Acid Sulfate Soil Investigation Report for Council consideration and demonstrated that the Acceptable Solution can be met; and a Preliminary Acid Sulfate Soil Management Plan is required (but not required to be approved by Council). It is generally used where less than 500m<sup>3</sup> of soil will be disturbed, the watertable is not affected, and the disturbance impacts in areas that host potential acid sulfate soils can be appropriately managed. For any enquiries about this condition, please contact the Pollution Officer. For acid sulfate soils, a suitably qualified and experienced person is a person with: Qualifications in agricultural or environmental soils science with specialisation in soil chemistry and hydrology; at least 2 years experience in acid sulfate soil management; and accreditation by a professional organisation such as the Australian Society of Soil Science.</i></p>	<p>As indicated</p>
<p><b>212) Stormwater Quality</b></p> <ol style="list-style-type: none"> <li>All stormwater runoff from carparks, driveways, hard stand areas, loading areas etc from the site must be treated by stormwater quality best management practices before discharge to the stormwater system in accordance with Stormwater Quality Management Report prepared by GHD and dated November 2005. Strategies may involve discharge to grass swales, landscaping, infiltration trenches, mini-wetlands or in-ground proprietary stormwater quality improvement devices. These practices must adequately remove key pollutants of concern. The stormwater quality best management practices utilised on the site must provide, as a minimum, for the following:             <ul style="list-style-type: none"> <li>Q 3 month flow;</li> <li>capture of sediment/suspended solids to meet best practice discharge guidelines (80% of coarse sediment 5mm diameter or less, and 50% of fine sediment 0.1mm diameter or less);</li> <li>capture of litter; and</li> <li>no visible discharges of hydrocarbons eg oils, greases.</li> </ul> </li> <li>Submit certification from an appropriately qualified person that</li> </ol>	<p>Prior to commencement of use</p>

stormwater quality best management practices as specified above has been provided on site.	
<b>213) Pool Water Discharges</b>	To be maintained
<p>Pool water wastes including filter backwash, drainage and overflow waters shall be treated and disposed in accordance with the Brisbane City Council Subdivision and Development Guidelines - Part C Water Quality Management Guidelines.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed where water quality may be affected as a result of the development.</i></p>	

**Engineering**

	Timing
<p><b>214) On-Site Erosion</b></p> <p>Minimise on-site erosion and the release of sediment or sediment-laden stormwater from the site at all times through compliance with an approved Erosion and Sediment Control (ESC) Program for the site.</p> <ol style="list-style-type: none"> <li>Submit an Erosion and Sediment Control (ESC) Program which complies with Council's Erosion and Sediment Control Standard (Version 9 or later), and receive approval from the Engineering Delegate, Development Assessment, prior to the commencement of land-disturbing activities;</li> <li>While site works (eg. Operational works, building works) are occurring and until exposed soil areas are permanently stabilised (eg. Turfed, concrete), implement and modify as necessary the approved ESC Program to maintain compliance with the Erosion and Sediment Control Standard (Version 9 or later) at all times during the period from when land-disturbing activities begin to when responsibility for the site no longer lies with the applicant.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed where the land-disturbing development (as defined in the current version of Council's Erosion and Sediment Control Standard) involves site works that could lead to significant erosion and loss of sediment from the site. The ESC Program must be prepared in accordance with Council's Erosion and Sediment Control Standard (Version 9 or later), and may include detailed plans, descriptions of control measures, monitoring programs and maintenance procedures. Please note that the work referred to in this condition involves operational work and therefore requires an operational works application to be submitted. Relevant guidelines to assist in the preparation of ESC Programs include the: "Soil Erosion and Sediment Control - Engineering Guidelines for Queensland Construction Sites" The Institute of Engineers, Australia (Qld), 1996 (or later version); "Sediment Basin Design Guidelines", Brisbane City Council, February 2000 (or later version); and "Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites" and accompanying fact sheets, Brisbane City Council and Gold Coast City Council, 2000 (or later version). NB. The ESC Program may form part of a Site Based Stormwater Management Plan (that addresses short and long-term stormwater management from a quality and quantity perspective) or an Environmental Management Plan (EMP). For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to site works commencing (ie. any land-disturbing development)</p>

<p><b>215) Construction Management Plan</b></p> <p>Prepare a Construction Management Plan for the subject site.</p> <p>a. Submit for approval of the Engineering Delegate, Development and Regulatory Services, a Construction Management Plan in accordance with the <i>Transport, Access, Parking and Servicing Planning Scheme Policy</i> of the <i>Brisbane City Plan 2000</i> and the following details, where applicable, of the construction phase of the approved development. The CMP is to acknowledge the restrictions detailed in the NOTES following the numbered items:</p> <p>Provision of alternative pedestrian routes, past or around the site;</p> <p>Existing and proposed kerbside allocation signs and linemarking such as bus stops, loading zones and parking meters;</p> <p>Temporary vehicular access points;</p> <p>Employee and visitor parking areas;</p> <p>How materials are to be loaded/unloaded;</p> <p>Location of any remote loading areas;</p> <p>Location of materials, structures, plant and equipment to be stored or placed on the construction site;</p> <p>Anticipated staging, programming;</p> <p>EPA approved hours of construction</p> <p>NOTE: Approval for on street work zones will only be considered where it can be demonstrated that no reasonable alternative can be provided due to site constraints and that traffic and public transport capacity and operations are not compromised.</p> <p>b. Obtain relevant permits from the Engineering Delegate, Development and Regulatory Services, to carry out any works within the road reserve required by the approved Construction Management Plan.</p> <p>The Construction Management Plan may require modification, with Council approval, to reflect relevant legislation, traffic and public transport capacity and operations as well as industry best practice prevailing at the time of the permit application and throughout the construction activities;</p> <p>c. Implement and maintain the approved Construction Management Plan.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when the construction activities need to be limited to manage the impact on the surrounding area. This condition is intended to apply throughout the period of site preparation to the completion of the development.</i></p>	<p>Prior to lodging an application for Building Works</p>
<p><b>216) Cutting/Filling</b></p> <p>Undertake the works on the site in accordance with an Earthworks Plan</p>	<p>Prior to site works/building works commencing</p>

approved by the Engineering Delegate, Development Assessment.

- a. Submit an earthworks plan (and obtain approval from the Engineering Delegate, Development Assessment), prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's *"Subdivision and Development Guidelines"* demonstrating how the development will comply with this requirement and the following:

The location of any cut and/or fill;

The quantity of fill to be deposited and finished fill levels;

Maintenance of access roads to and from the site such that they remain free of all fill material and are cleaned as necessary;

The existing and proposed finished levels (extending into the adjacent properties);

Preservation of all drainage structures from the effects of structural loading generated by the earthworks;

Protection of adjoining properties and roads from ponding or nuisance from stormwater;

That all vehicles exiting from the site will be cleaned and treated so as to prevent material being tracked or deposited on public roads.

- b. All fill material placed on the site comprising only natural earth and rock and is to be free of contaminants (as defined by section 11 of the Environmental Protection Act 1994), noxious, hazardous, deleterious and organic materials.

Suitable fill material is deemed to comply with the requirements of clause 4.3, AS 3798, Guidelines on Earthworks for Commercial and Residential Developments.

- c. Prepare the following details for presentation to the Council's Engineering Delegate at a pre-start meeting arranged by the consultant supervising the contractor:

The type of fill to be used and the manner in which it is to be compacted;

Details of any proposed access routes to the site which are intended to be used to transport fill to the site;

Engineering details of any haul roads to be built to facilitate the placement of fill on the site;

The contractor is responsible for maintaining the access roads near the site such that they remain free of all fill material and are cleaned as necessary;

Damage to Council assets will need to be repaired at no cost to Council;

Public footpaths fronting the site are to

<p>remain safe at all times; and</p> <p>Compliance with Council's Erosion and Sediment Control Guidelines relating to earthworks on a construction site.</p> <p>While site/operational works/building works is occurring, implement and maintain the provisions of a Site Based Stormwater Management Plan which is consistent with Council's "Subdivision &amp; Development Guidelines" (2000 or later version) and aims to prevent or minimise the contamination of stormwater and the release of contaminated stormwater from the site during construction and operational works</p> <p><b>GUIDELINE</b>  <i>This condition is imposed for applications when significant earthworks are proposed in conjunction with a development proposal. Site Based Stormwater Management Plans (that address short and long term stormwater management from a quality and quantity perspective) may be part of Environmental Management Plans (EMPs) and include ESC Programs/Management Plans. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>217) Granting Easements</b></p> <p>Grant the following easement(s):</p> <ol style="list-style-type: none"> <li>Easements for underground drainage, overland flow, open cut, and access purposes as may be required, in favour of Brisbane City Council;</li> <li>Easements for underground drainage, open cut, overland flow and access purposes as may be required over that part of the site below the Flood Regulation Line and/or that part of the site affected by 100 year average recurrence interval (ARI) flooding, in favour of Brisbane City Council;</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide access, maintenance of services and to protect drainage paths if required. Easements in favour of the Brisbane City Council are required to have the necessary easement documentation prepared (free of costs and compensation to Council) by the Brisbane City Council. Easements not in favour of the Brisbane City Council are required to have the necessary documentation prepared by the applicant's private solicitors. Easements are to be shown on a Survey Plan and lodged with the Delegate Plan Sealing Unit, Development Assessment. Enquiries regarding any legal documentation can be directed to Plan Sealing Unit, Development Assessment (Ph 340 37260). For any other enquiries about this condition, please contact the Engineering Delegate, Development Assessment.</i></p>	<p>Prior to commencement of use</p>
<p><b>218) Remove Improvements &amp; Obstructions from Truncation</b></p> <p>Remove all improvements and obstructions from the area of the corner truncation(s) and area of dedicated road and reinstate the area as footway in accordance Council's "Subdivision and Development Guidelines".</p> <ol style="list-style-type: none"> <li>Provide a certificate from a Registered Surveyor, certifying that all improvements and/or obstructions have been removed from the area of corner truncation(s) and area of dedicated road;</li> <li>Provide a certificate certifying that the works required by this</li> </ol>	<p>Prior to commencement of use</p>

<p>condition have been completed;</p> <p>c. Forward a copy of the certification from a registered surveyor together with the request for survey plan endorsement, to the Delegate Plan Sealing, Licensing, Sealing and Certificates Unit, Development and Regulatory Services.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed when a corner truncation or road dedication requires removal of all improvements (eg. fences, gates, letter boxes, garden beds and plots and other constructed items etc.) and obstructions (eg. existing earth banks, vegetation etc.) from the area of new road. It should be noted that significant trees and certain types of vegetation may be left in place. The retention of a particular item is site specific and retained at the discretion of the Engineering Delegate. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>219) Internal Signs and Line Markings</b></p> <p>Provide internal signs and line markings generally in accordance with the approved drawings and documents and in accordance with Austroads and the Manual of Uniform Traffic Control Devices.</p> <p>a. Prior to lodging a development permit for building works, prepare detailed engineering plans prepared by a Registered Professional Engineer of Queensland (RPEQ), and in accordance with Council's "Subdivision and Development Guidelines" showing the design of the sign and line marking work;</p> <p>b. Construct the works in accordance with the engineering plans; and</p> <p>c. Submit "As Constructed" plans to the Engineering Delegate, Development and Regulatory Services, approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications and that the works required by this condition are in accordance with "Austroads" and the "Manual of Uniform Traffic Control Standards".</p> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the development is signed and lined in accordance with the relevant standards.</i></p>	<p>Prior to commencement of use</p>
<p><b>220) Retaining Walls</b></p> <p>Any retaining walls greater than 1.0 metre in height are required to be structurally certified for design and construction by a Registered Professional Engineer Queensland (RPEQ). The certification is to include the stormwater drainage (surface and seepage water) associated with the wall ensuring that the water is directed to an acceptable lawful and legal point of discharge and does not cause any ponding, nuisance or disturbance to adjacent property owners. All retaining walls are to comply with the City Plan Filling and Excavation Code.</p> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that retaining walls associated with the development that are higher than 1 metre, are designed and constructed to industry standards and also, to ensure that no adverse</i></p>	<p>Prior to commencement of use</p>



<p>impact is created by the structures on the surrounding properties. The retaining wall designer should note that timber retaining walls facing onto Council property (including the road reserve) will not be permitted. Retaining walls facing onto road reserve or parkland are to be contained entirely within the proposed development site, including the retaining wall's footings. Where retaining walls are proposed to be constructed between adjoining properties, it is also suggested that the use of timber sleeper retaining walls be restricted due to their limited life and the potential problems they may cause to future property owners. Where the combined height of the retaining wall and fence exceeds 2.0 metres, a Development Permit for Building Work will need to be granted. For any enquires about this condition please contact the Engineering Delegate, Development and Regulatory Services.</p>	
<p><b>221) Access, Grades, Manouvering, Carparks, Signs</b></p> <p>Construct and delineate or sign (as required) the following requirements as indicated on the approved plan(s) of layout:</p> <ol style="list-style-type: none"> <li>Construct a pavement of minimum Type A standard and surface with an impervious material (including associated drainage) to the area on which motor vehicles will be driven and/or parked. (Construction of such pavement is to be certified by a Registered Professional Engineer of Queensland (RPEQ));</li> <li>The driveways at grades shown on the approved plans and documents (or if not shown at grades not greater than those set out in "Brisbane City Plan 2000 - Transport, Access, Parking and Servicing Planning Policy");</li> <li>Manoeuvring on site for a LRV and for the loading and unloading of the vehicle(s);</li> <li>Parking on the site for a minimum of 184 tenant cars, 24 visitor cars and for the loading and unloading of vehicles within the site;</li> <li>2 of the above parking spaces are to be provided for people with disabilities;</li> <li>One (1) visitor parking space is to be provided and signed for exclusive use by the on-site manager unit located in Building D.</li> <li>Supply, install and maintain within an area to be determined by the Delegate, Development Assessment, artworks (including but not necessarily limited to, sculptures, ceramic works, mosaics, wall reliefs, relic of the sites previous use/s, interpretive signage) by a recognised artist or crafts person or the appropriate professional depending on the item installed;</li> <li>A height clearance sign located at the entrance(s) to undercover car parking areas;</li> <li>A directional visitor parking sign at the vehicle entrance to the site adjacent to or clearly visible from the vehicle entrance to the site;</li> <li>An appropriate area for the storage and collection of refuse, including recyclables, in a position which is accessible to service vehicles on the site;</li> <li>The internal paved areas are to be signed and delineated in accordance with the approved plans, Manual of Uniform Traffic Control Devices and Austroads.</li> </ol> <p><b>GUIDELINE</b> The "Brisbane City Plan 2000 - Transport, Access, Parking and Servicing Planning Policy" requires adequate on-site provision of parking, servicing and manoeuvring areas. This condition specifies detailed design requirements as indicated on the approved drawings and documents to which the approval relates.</p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>222) Flooding - Q50 &amp; Q100</b></p>	<p>Prior to lodging an application for Building Works</p>

Run off from the site and run off concentrated on the site from local catchments for storms up to the 50 year (ARI) flood event and for a 100 year (ARI) flood event for creek and river flooding, is to be managed in accordance with approved drainage plans and Council's "Subdivision and Development Guidelines" so as not to have any adverse effect on neighbouring properties.

- a. Design and construct all buildings to have the appropriate freeboard in accordance with the Council's "Subdivision and Development Guidelines" so as not to be flooded during a 50 year (ARI) local flood event or a 100 year (ARI) creek or river flood event whichever is the higher flood level;
- b. Submit engineering plans and calculations, prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance with the Council's "Subdivision and Development Guidelines", demonstrating how the development will comply with this requirement. Such plans are to show adequate survey information on areas adjoining the site with particular attention to ponding of water and overland flowpaths and building pads. Additionally, the submitted information is to determine the extent of any stormwater drainage works and the width of any overland flow easements. Obtain approval for the design from the Engineering Delegate, Development Assessment, Development and Regulatory Services;
- c. Prior to the commencement of the use, complete the works in accordance with the approved engineering plans; and
- d. Prior to the commencement of the use, submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.

#### GUIDELINE

*This condition is intended to ensure that the design of the subject development accounts for the stormwater run off and/or if stormwater drainage patterns in the vicinity of the site require improvements. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.*

### 223) Floor Levels

Design and construct all proposed buildings in accordance with Council's "Subdivision and Development Guidelines" to ensure that minimum habitable floor levels are 500 mm above the 100 year (ARI) flood level (river and creek flooding) or 500mm above the 50 year (ARI) (overland flow level) whichever is the greater.

- Minimum non-habitable floor levels are to be not less than 300 mm above the 50 year (ARI) or 100 year (ARI) flood levels (which ever is the greater).

#### GUIDELINE

*This condition is imposed when the site is affected by flooding. The 100 year ARI event is applicable to river and/or creek flooding. If the catchment is localised, the 50 year ARI event will be applicable unless the site is also affected by creek or river flooding in which case the higher flood level is to be used. For flood level information, Council Flood Reports are now available from any of Council's Customer Service Centres and Regional Business Centres. The new Flood Report provides the latest flood information for a nominated property plus other useful*

Prior to lodging an application for Building Works

information about flooding and your development.	
<p><b>224) Construct Footpath</b></p> <p>Making a monetary contribution currently calculated at \$86.00 per additional allotment (with street frontage) for Council to purchase, plant and maintain the trees on footway. The required contribution currently totals \$860.00&lt;\$INPUT&gt; based on 10 additional lots; or</p> <p><b>GUIDELINE</b>  <i>This condition requires works to be undertaken in the road reserve. The intention of the condition is to ensure that the adjoining footpaths are designed and constructed to a standard suited to the demands created by the approved development. For advise regarding alignment and levels of the proposed works and any other enquires about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	Prior to commencement of use
<p><b>225) Repair Damage to Kerb, Footpath Or Road</b></p> <p>Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried in association with the approved development.</p> <p><b>GUIDELINE</b>  <i>The intention of this condition is to ensure that any works undertaken as part of the approved development do not damage Council assets or leave Council assets in an unacceptable and unsightly manner. For enquiries regarding this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	Prior to commencement of use
<p><b>226) Refuse and Recycle Bins - On-Site Collection</b></p> <p>Be responsible for internal (on-site) collection of refuse and recyclables from the development.</p> <ul style="list-style-type: none"> <li>a. Enter into an agreement with Council's City Waste Services to provide a bulk bin collection service to the development;</li> <li>b. The applicant/owner must indemnify Council and its agents in respect of any damage to the pavement and other driving surfaces;</li> <li>c. The applicant/owner shall notify future owners/body corporate that the development has been approved on the basis that an indemnity is provided for refuse collection vehicles to enter the property;</li> <li>d. Forward a copy of the written indemnity agreement with City Waste Services to the Engineering Delegate, Development Assessment;</li> <li>e. Forward a copy of the written undertaking required to advise future owners/body corporate to the Engineering Delegate, Development Assessment.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that adequate arrangements are made for the collection of refuse and recyclables from the approved development. For any enquiries about this condition, please contact the Co-Ordinator of City Waste Contract Services, Ph - 302 74663</i></p>	Prior to commencement of use

<p><b>227) Provide/Extend Sewer Connection(s)</b></p> <p>Provide a sewer property connection to serve the development designed and constructed in accordance with approved engineering plans and Council's "Water and Sewerage Reticulation Standards". NB. The size of the connection shall be determined by the total number of fixture units.</p> <ol style="list-style-type: none"> <li>Submit engineering plans prepared by a Registered Professional Engineer Queensland (RPEQ), and in accordance with Council's "Water and Sewerage Reticulation Standards" showing the design the works. Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</li> <li>Pay to Council the cost of live connection to the sewer main;</li> <li>Construct the works in accordance with the approved engineering plans to a standard that will be satisfactory to be accepted "on" and "off" maintenance as a Council asset, by the Engineering Delegate, Development and Regulatory Services;</li> </ol> <p>Submit "As Constructed" plans including an asset register, approved by a Registered Professional Engineer Queensland (RPEQ) (to a standard specified in Council's "Water and Sewerage Reticulation Standards") certifying that the works have been completed in accordance the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to provide a separate new sewerage connection to the development. For enquiries regarding this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to undertaking the works</p>
<p><b>228) BOS (Build Over Sewer)</b></p> <p>Obtain written permission from the Engineering Delegate, Development and Regulatory Services, to build over or near sewer infrastructure, or to relocate the sewer/sewer infrastructure at no cost to Council.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed so that the council does not incur costs associated with the erection of a building or structure over or near a sewer and/or sewer infrastructure. To avoid unnecessary expense and delay, the Council strongly recommends that the developer apply for permission to "Build Over Sewer" prior to the lodgement of any further development applications. For any enquiries regarding this condition, please contact the Delegate, Development and Regulatory services.</i></p>	<p>Prior to lodging an application for Building Works</p>
<p><b>229) Build Over or Near Stormwater</b></p> <p>Obtain written permission from Council to build over or near storm water infrastructure (pipe drainage system or an easement for overland flow), or, to relocate a storm water drainage system, all at no cost to Council.</p> <ol style="list-style-type: none"> <li>Submit engineering plans and calculations (if required), prepared by a Registered Professional Engineer Qld (RPEQ) and in accordance Council's "Guidelines for Building Over or Near Stormwater Facilities" in the "Subdivision and Development Guidelines" showing the manner in which it is intended to preserve the existing storm water drainage structures (or overland flow easements) within the site from damage, structural loading or obstruction. Obtain approval for the design from the Engineering</li> </ol>	<p>Prior to lodging an application for Building Works</p>

<p>Delegate, Development Assessment, Development and Regulatory Services.</p> <p>b. Prior to the commencement of the use, complete the works in accordance with the approved engineering plans.</p> <p>c. Prior to the commencement of the use, submit "As Constructed" plans including an asset register (if required) of any modified or relocated stormwater drainage structure or other Council asset. The plans are to be approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") and certified that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>This condition has been imposed to ensure that acceptable measures will be incorporated into the development to protect Council's Infrastructure. For any enquiries about this condition, please contact Council's Customer Contact Centre on ph. 3403 8888.</i></p>	
<p><b>230) On-Site Drainage</b></p> <p>Run-off from roof and developed surface areas of the site, and any run-off onto the site from adjacent areas, are to be collected internally and directed to a lawful point of discharge in accordance with Council's "Subdivision and Development Guidelines".</p> <p>a. Submit drainage plans and engineering calculations (as a part of the development's Site Based Stormwater Quantity Management Plan) in accordance with Council's "Subdivision and Development Guidelines" showing the design of the drainage of the roof and developed surfaces. Obtain approval from the Engineering Delegate, Development Assessment.</p> <p>Such plans are to show adequate survey information on areas adjoining the site with particular attention to any nuisance or annoyance to adjoining property owners.</p> <p>Please note all constructed stormwater outlets that are proposed to discharge directly to a waterway, shall ensure an appropriate waterway setback, reduction in flow outlet velocity and concentration and, include any supplementary planting works that may be required (refer "Stormwater Outlets in Parks and Waterways", BCC July 2000);</p> <p>b. While site/operational works/building works is occurring, complete the works in accordance with the approved engineering plans and other elements of the development's Site Based Stormwater Management Plan; and</p> <p>c. Prior to the commencement of the use, submit "As Constructed" plans approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</p> <p><b>GUIDELINE</b>  <i>The purpose of this condition is to ensure that stormwater run off from the site and adjacent properties will be handled adequately. Disposal by gravity pipeline is required if practical. Use of pumps for disposal of stormwater may be approved only if the applicant can show evidence to Council of having taken all reasonable steps to obtain written permission from adjacent property owners for construction of a gravity pipeline, and of this being unobtainable. The proposal may include water saving and</i></p>	<p>Prior to site works/building works commencing</p>

<p><i>reuse devices such as rain water tanks provided that the proposal satisfies Council that devices will be satisfactorily maintained by the owners of the property. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	
<p><b>231) Upstream Stormwater Drainage Connection</b></p> <p>Provide a stormwater drainage connection for the future development of all adjoining upstream properties in accordance with an approved drainage plan and Council's "Subdivision and Development Guidelines".</p> <ol style="list-style-type: none"> <li>Prior to undertaking the works, submit engineering plans and calculations and obtain approval from the Engineering Delegate, Development Assessment;</li> <li>Complete the works in accordance with the approved engineering plans and in accordance with Council's "Subdivision and Development Guidelines"; and</li> <li>Submit "As Constructed" plans including an asset register (if required), approved by a Registered Professional Engineer of Queensland (RPEQ) (to a standard specified in Council's "Subdivision and Development Guidelines") certifying that the works have been completed in accordance with the approved design and any approved modifications.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is intended to ensure that the subject development does not prejudice stormwater drainage of adjacent properties. The stormwater drainage required by this condition needs to be encompassed by an easement granted in favour of the Council, as may be required. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</i></p>	<p>Prior to commencement of use</p>
<p><b>232) Internal Stormwater Facilities</b></p> <p>Manage on-site drainage, ponding and discharge:</p> <ol style="list-style-type: none"> <li>Design, construct, and thereafter maintain, rehabilitate or replace the following facilities in accordance with the approved plan(s) of layout. These works are to be designed, constructed and maintained in accordance with the following documents: <ol style="list-style-type: none"> <li>Stormwater Management Code of the City Plan;</li> <li>Services Works and Infrastructure Code of the City Plan;</li> <li>The Subdivision and Development Guidelines;</li> <li>QUDM.</li> </ol> </li> <li>A Certificate of Completion (as per Chapter 3, Appendix B of Part E of the Subdivision and Development Guidelines) certified by a Registered Professional Engineer of Queensland (RPEQ) is required as proof of compliance with this condition. A copy of the Certificate of Completion is to be forwarded to the Engineering Delegate.</li> </ol> <p>NOTE: The design, design documentation, (including test results) and the Certificate of Completion are to be forwarded to and retained by the current and future owner(s) as proof of initial compliance with this Condition of Development and to assist in the on-going compliance with this Condition of Development and any future auditing.</p> <p><b>GUIDELINE</b>  <i>The purpose of this condition is to ensure that stormwater run off from the site and adjacent properties will be handled adequately. Disposal by gravity pipeline is required if practical. Use of pumps for disposal of stormwater may be approved, however details and plans would need to be approved by the Engineering Delegate. The applicant would need to show evidence to Council of having taken all reasonable</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>

<p>steps to obtain written permission from adjacent property owners for construction of a gravity pipeline, and of this being unobtainable. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</p>	
<p><b>233) Public Lighting</b></p> <p>Provide a public lighting system in accordance with an approved street lighting design plan and Council's "Street Lighting Design Guidelines".</p> <ol style="list-style-type: none"> <li>Prior to undertaking the works, lodge street lighting design plans showing the proposed public lighting system and obtain approval from the City Lighting Unit, Local Asset Services Central District;</li> <li>Enter into an agreement with an electricity supplier to provide a public lighting system in accordance with the above approved lighting design plans; and</li> <li>Forward a copy of the agreement to the Engineering Delegate, Development and Regulatory Services.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed when a proposed development requires the provision of public lighting facilities in accordance with the "Street Lighting Design Guidelines". Please refer to the Council's information sheet on lodging detailed design applications. For any enquiries about this condition, please contact the City Lighting Unit (pH 3403 0307) regarding electricity reticulation plans or Energex (pH: 131 253) regarding electricity supply.</i></p>	<p>Prior to commencement of use</p>
<p><b>234) Service Conduits and Mains</b></p> <p>Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in connection with the approved development. This includes the relocation of any fire hydrants and valves from within the limits of the development's vehicular footway crossings if applicable.</p> <ol style="list-style-type: none"> <li>Complete the works required by this condition;</li> <li>Submit "As Constructed" plans including an asset register (if required), approved by a registered Professional Engineer Queensland (RPEQ) (in accordance with Council's "Subdivision and Development Guidelines" and "Water and Sewerage Reticulation Standards") showing the works required by this condition.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed when additions, alterations or extensions to service conduits, mains and other services are required as a result of the approved development. Applicants should liaise with the appropriate service authorities. For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services (regarding advise on traffic signal conduits, stormwater, water supply and sewerage mains etc.) or the relevant public utility authorities (for advice on other services).</i></p>	<p>Prior to commencement of use</p>
<p><b>235) Underground Telecommunication Services</b></p> <p>Provide underground telecommunication services to the proposed development.</p> <ol style="list-style-type: none"> <li>Prior to undertaking the works, enter into an agreement with a</li> </ol>	<p>Prior to commencement of use</p>

<p>telecommunication company and provide underground telecommunication services within and adjacent to the proposed development; and</p> <p>b. Forward a copy of the agreement to the Engineering Delegate, Development and Regulatory Services.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that the provision of essential communication services are provided to the development. For any enquiries about this condition, please contact relevant service carriers regarding communications or Telstra (pH 132 200).</i></p>	
<p><b>236) Metering - Mixed Use Development</b></p> <p>a) Provide a water service with approved Council meter assembly and meter box to the front real property boundary of the development in accordance with Council's "Water and Sewerage Reticulation Standards". Where a mixed usage site is approved for development and the proposed development comprises mixed classifications as defined by the Building Code of Australia containing any of Classes 5 to 9 and any of Classes 2 to 4, then the developer must provide a separate metered water service for the Class 2 to 4 occupancy as opposed to the Class 5 to 9 occupancy. This requirement is exclusive of any special fire service consideration i.e. internal hydrants, fire hose reels and sprinkler systems.</p> <p>b) Submit engineering plans prepared by the RPEQ (Registered Professional Engineer Queensland) , and in accordance with Council's "Water and Sewerage Reticulation Standards" showing service and meter works. (The size of the service shall be determined by the water supply requirement of the proposed development). Obtain the approval from the Engineering Delegate, Development Assessment, Development and Regulatory Services;</p> <p>c) Pay to Council the cost of live connection to the water main;</p> <p>Such construction is to be to a standard that is satisfactory to be accepted on an off maintenance;</p> <p>d) If the meters are purchased other than from Council, pay to council a documentation fee for each water service provided. If the meters are purchased from Council, forward a copy of the receipt of purchase to the Engineering Delegate, Development Assessment.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to supply a water service and a meter(s) to a Development / Community Title Development / Standard / Building or Volumetric format. The meter(s) shall be accessible to BCC employees or agents for the purpose of reading and maintaining the meter(s). The meter(s) will become and remain property of the Brisbane City Council.</i></p>	<p>Prior to undertaking the works</p>



Permit to Which These Conditions Relate:	DA - Material Change of Use
Activity(ies):	Indoor Sport and Recreation
Stage:	Gymnasium Ancillary to Multi Unit Dwellings within the Tennyson Riverside Development

**General/Planning Requirements**

	Timing
<b>237) Disabled Access</b>  Construct pedestrian circulation walkways from the street frontage to the foyer/lift doors of the development in accordance with AS 1428 Parts 1 - 4 Australian Standard for Access and Mobility with particular regard to: <ul style="list-style-type: none"> <li>i. Ramping requirements (including gradients and slip resistance);</li> <li>ii. Handrail requirements;</li> <li>iii. Visual impairment requirements for changes in gradient; and</li> <li>iv. Tactile tiling in a visually contrasting colour to both sides of the driveway crossover.</li> </ul> <b>GUIDELINE</b> <i>This condition is imposed to ensure external access areas are appropriately designed and constructed for the all users. For any enquiries about this condition, please contact the Development Assessment Team Architect.</i>	Prior to the commencement of the use and then to be maintained
<b>238) Approved Drawings &amp; Documents</b> A legible copy of the approved drawings and documents bearing "Council Approval" and the Development Approval Conditions package is to be available on site at all times during construction and earthworks.  <b>GUIDELINE</b> <i>This condition is imposed to ensure compliance with the development conditions of approval. The copy of the conditions and plans should be located in any site management office or with the site foreman. Any copies of conditions or plans that are illegible shall be deemed to be non compliance with this condition of approval.</i>	As indicated
<b>239) Carry Out Approved Development</b>  Carry out the approved development generally in accordance with the approved document(s) and/or drawing(s) as amended in red.  <b>GUIDELINE</b> <i>This condition refers to the approved plans, drawings and documents to which the approval relates and is the primary means of defining the extent of the approval. Approved plans, drawings and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of approval of the application by Council's Delegate.</i>	While development is occurring on the site and then to be maintained
<b>240) Complete All Building Work</b>  Complete all building work associated with this development approval,	Prior to commencement of use

<p>including work required by any of the following conditions. Such building work is to be carried out generally in accordance with the approved plans, drawing(s), and/or documents and, where the building work is assessable development, in accordance with a current development permit.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure all building work associated with the use are in place before the use commences. It is not appropriate that the site be used without such work being completed. Please note that the work referred to in this condition involves operational work and may therefore constitute 'assessable development'. The Council informs you therefore that this condition does not authorise assessable development to occur and a development permit may therefore be necessary. Please refer to the Council's information sheets. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	
<p><b>241) Maintain the Approved Development</b>  Maintain the approved development (including landscaping, parking, driveways and other external spaces) in accordance with the approved drawing(s) and/or documents, and any relevant Council engineering or other approval required by the conditions.</p> <p><b>GUIDELINE</b>  <i>This condition restricts changes that can be made to the approved development. Approved plans and documents are stamped PLANS and DOCUMENTS referred to in the APPROVAL and are dated to reflect the date of determination of the application by the Council's delegate. The extent to which plans can be modified is constrained by the definition of 'minor change' in schedule 10 and the requirements of section 3.5.24 of the "Integrated Planning Act 1997". It will be necessary to make a new application if the change is not a minor change. For any enquires about this condition, please contact the Assessment Manager.</i></p>	To be maintained
<p><b>242) Community Management Statement</b></p> <p>Any Community Management Statement for the site is to contain the following requirements:</p> <ul style="list-style-type: none"> <li>a. That the gym is to be <ul style="list-style-type: none"> <li>i. located within Common Property;</li> <li>ii. be restricted for use by residents, guests and invitees of the residential unit owners and/or tenants; and</li> <li>iii. is not to be used for commercial uses other than management/letting activities associated with the Common Property.</li> </ul> </li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure the ongoing operation, appearance and maintenance of the development under a Community Management Statement is in accordance with the development permit and the approved plans and documents. For any enquiries about this condition, please contact the Assessment Manager.</i></p>	As indicated
<p><b>243) Gymnasium</b></p>	As indicated

<p>The use of the proposed gym as shown on plan DA1011-Rev I is to be ancillary to the residential use on the site as indicated below:</p> <ol style="list-style-type: none"> <li>That the gym is to be located within Common Property and not for the exclusive use of any residential occupant on the site;</li> <li>That the facility is to be limited for the use by residents, guests and invitees of the residential unit owners and/or tenants; and</li> <li>That the facility is not to be used for commercial uses other than management/letting activities associated with the Common Property.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is intended to clarify how the Common Property Area, in particular the proposed ancillary facilities located within Common Property, will be for the use of the residents within the development. These uses are considered part of the overall development of the site and are ancillary to the predominant residential use of the site as per the Preliminary Approval issued over the site. The Community Management Statement is to reflect this.</i></p>	
<p><b>244) Expiration of Relevant Period</b>  All aspects of development as outlined within this section, to which the conditions relate in the "Development Approval Package", are to be completed before midnight on 30 November 2010.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed pursuant to 3.5.21A(2)(a) of the Integrated Planning Act 1997. The intent of this condition is to specify the particular time assessable development or an aspect of assessable development is to be completed before the development lapses. Any extension of the period stated in the condition is required to be made in accordance with Sections 3.5.22 and 3.5.33 of the Integrated Planning Act.</i></p>	<p>As indicated</p>
<p><b>245) Pool Hours</b></p> <p>Use of the Pool pump and pool filter are to comply with the following:</p> <ol style="list-style-type: none"> <li>Noise levels for the pool filter and pump are to comply with the Environmental Protection Agency noise levels as stated in Section 6Y(1) of the Environmental Protection Regulation 1998 as amended from time to time.</li> <li>The use of the pool, and pool surrounds are to be used only between the hours of 6am to 10pm seven days a week.</li> </ol> <p><b>GUIDELINE</b>  <i>This condition is imposed to minimise any nuisance effects of the pool to adjoining residents. Hours are as specified in discussions with adjoining land owners.</i></p>	<p>Prior to the commencement of the use and then to be maintained</p>
<p><b>246) Sustainability</b></p> <p>The following sustainable features are to be installed and maintained within the proposed development (as</p>	

indicated):

<b>Body Corporate-managed areas</b>	Basin & Sink Taps	4-Star rated tapware or flow regulating device installed in pipe work upstream of all basin and sink taps
	Pool	Pool covers are to be provided and maintained to any swimming pools or spas installed
	Pressure limiting devices on domestic water service lines	Pressure reducing valves set to a maximum of 300kPa. Valves installed to serve clusters of units with a minimum of 1 valve per floor level
	Irrigation system	<ul style="list-style-type: none"> <li>• Subsurface or microjet spray/dripper system and controlled using soil moisture sensors</li> <li>• Programmable irrigation controller with rain sensor</li> <li>• Sub water meters on irrigation supply line</li> </ul>
	Outdoor taps	<ul style="list-style-type: none"> <li>• Trigger nozzles on all outdoor hoses</li> <li>• 3-Star rated flow regulating devices installed in pipework upstream of all outdoor taps</li> </ul>
	Rainwater tank	<ul style="list-style-type: none"> <li>• Rainwater storage tank(s)</li> <li>• Rainwater tank plumbed into irrigation system</li> <li>• Rainwater tank plumbed into any pool top-up</li> <li>• Rainwater tank plumbed into car / bin washing area</li> </ul>
	Smart Water Meters	Install water meters to the water supply servicing the Body Corporate areas to monitor water usage (this does not replace the Council water meter)

**GUIDELINE**

*This condition is imposed to ensure that the development is sustainable in terms of careful and efficient use of water utilising current best practice. This condition acknowledges that an installation of the clothes washer may not be provided by the developer.*

**247) Pool Filter and Pump Attenuation**

Provide an enclosure around the pool filter and pump. The enclosure is to be sealed block work with concrete lid, solid door mounted in a steel frame built into the block work with acoustic seals to all four edges of the door. If ventilation is required these must be acoustically treated grilles.

**GUIDELINE**

*This condition is to ensure that acoustic levels are maintained so as to protect the amenity of adjoining land owners.*

Prior to the commencement of the use and then to be maintained

**Architecture**

	<b>Timing</b>
<b>248) Screening to Ext. Air Con or Mechanical Plant</b>  Provide screening for any externally mounted airconditioning or mechanical plant installations in accordance with the following requirements: <ol style="list-style-type: none"> <li>No unscreened installations on the proposed development are to be visible from the surrounding sites; and</li> <li>Any installations which are required to be located on roof, wall or garden areas are to be appropriately screened or shaped</li> </ol>	Prior to the commencement of the use and then to be maintained

according to the acoustic requirements of this development package and so as to integrate in a complementary manner with the overall design of the roof, wall or garden area in which the installation is to be located.

**GUIDELINE**

*This condition is imposed to ensure appropriate visual outcomes in relation to mechanical plant areas. For any enquiries about this condition, please contact the Development Assessment Team Architect.*

**Pollution**

	Timing
<p><b>249) Amplified Music</b></p> <p>At all times, the adjusted average maximum sound pressure level from amplified music from the gymnasium when measured at any sensitive land use must not exceed the A-weighted background sound pressure level (<math>L_{A_{bg,T}}</math>) by more than the following amounts:</p> <ul style="list-style-type: none"> <li>i. between 7am and 10pm - the adjusted maximum sound pressure level <math>L_{A10}</math>, plus adjustments for tonal and impulsive components, exceeding the background level <math>L_{A90}</math> by more than 10dB(A).</li> <li>ii. between 10pm and 7am - the sound pressure level <math>L_{OCT10}</math> in a full octave band with centre frequencies from 63Hz to 2000Hz exceeding the background <math>L_{OCT90}</math> by more than 8dB(A) in any octave band.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that noise emissions from amplified music does not cause environmental harm or nuisance at a noise sensitive place. The time period specified above reflect the limitations/restrictions for any future operational requirements for the gymnasium.</i></p>	As indicated
<p><b>250) Dampening of Grills and Metal Plates</b></p> <p>Any metal grills, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that noise vehicle movements do not cause environmental nuisance.</i></p>	Prior to the commencement of the use and then to be maintained
<p><b>251) Stormwater Quality</b></p> <ul style="list-style-type: none"> <li>a. All stormwater runoff from carparks, driveways, hard stand areas, loading areas etc from the site must be treated by stormwater quality best management practices before discharge to the stormwater system in accordance with Stormwater Quality Management Report prepared by GHD and dated November 2005. Strategies may involve discharge to grass swales, landscaping, infiltration trenches, mini-wetlands or in-ground proprietary stormwater quality improvement devices. These practices must adequately remove key pollutants of concern. The stormwater quality best management practices utilised on the site</li> </ul>	Prior to commencement of use

<p>must provide, as a minimum, for the following:</p> <ul style="list-style-type: none"> <li>• Q 3 month flow;</li> <li>• capture of sediment/suspended solids to meet best practice discharge guidelines (80% of coarse sediment 5mm diameter or less, and 50% of fine sediment 0.1mm diameter or less);</li> <li>• capture of litter; and</li> <li>• no visible discharges of hydrocarbons eg oils, greases.</li> </ul> <p>a. Submit certification from an appropriately qualified person that stormwater quality best management practices as specified above has been provided on site.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed to ensure that adequate measures are adopted to prevent stormwater quality being affected as a result of the operational stage of the development. It is applied where compliance with Council's Water Quality Objectives must be demonstrated as part of a Schedule 12 application. Site Based Stormwater Management Plans that address short and long term stormwater management from a quality perspective, and provide details of the measures to be adopted to prevent or minimise the contamination of stormwater and the release of contaminated stormwater from the site.</i></p>	
<p><b>252) Pool Water Discharges</b></p> <p>Pool water wastes including filter backwash, drainage and overflow waters shall be treated and disposed in accordance with the Brisbane City Council Subdivision and Development Guidelines - Part C Water Quality Management Guidelines.</p> <p><b>GUIDELINE</b>  <i>This condition is imposed where water quality may be affected as a result of the development.</i></p>	<p>To be maintained</p>

Engineering	Timing
<p><b>253) On-Site Erosion</b></p> <p>Minimise on-site erosion and the release of sediment or sediment-laden stormwater from the site at all times through compliance with an approved Erosion and Sediment Control (ESC) Program for the site.</p> <ul style="list-style-type: none"> <li>a. Submit an Erosion and Sediment Control (ESC) Program which complies with Council's Erosion and Sediment Control Standard (Version 9 or later), and receive approval from the Engineering Delegate, Development Assessment, prior to the commencement of land-disturbing activities;</li> <li>b. While site works (eg. Operational works, building works) are occurring and until exposed soil areas are permanently stabilised (eg. Turfed, concrete), implement and modify as necessary the approved ESC Program to maintain compliance with the Erosion and Sediment Control Standard (Version 9 or later) at all times during the period from when land-disturbing activities begin to when responsibility for the site no longer lies with the applicant.</li> </ul> <p><b>GUIDELINE</b>  <i>This condition is imposed where the land-disturbing development (as defined in the current version of Council's Erosion and Sediment Control Standard) involves site works that could lead to significant erosion and</i></p>	<p>Prior to site works commencing (ie. any land-disturbing development)</p>

<p>loss of sediment from the site. The ESC Program must be prepared in accordance with Councils Erosion and Sediment Control Standard (Version 9 or later), and may include detailed plans, descriptions of control measures, monitoring programs and maintenance procedures. Please note that the work referred to in this condition involves operational work and therefore requires an operational works application to be submitted. Relevant guidelines to assist in the preparation of ESC Programs include the: "Soil Erosion and Sediment Control - Engineering Guidelines for Queensland Construction Sites" The Institute of Engineers, Australia (Qld), 1996 (or later version); "Sediment Basin Design Guidelines", Brisbane City Council, February 2000 (or later version); and "Best Practice Guidelines for the Control of Stormwater Pollution from Building Sites" and accompanying fact sheets, Brisbane City Council and Gold Coast City Council, 2000 (or later version). NB. The ESC Program may form part of a Site Based Stormwater Management Plan (that addresses short and long-term stormwater management from a quality and quantity perspective) or an Environmental Management Plan (EMP). For any enquiries about this condition, please contact the Engineering Delegate, Development and Regulatory Services.</p>	
<p><b>254) Repair Damage to Kerb, Footpath Or Road</b> Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried in association with the approved development.</p> <p><b>GUIDELINE</b> The intention of this condition is to ensure that any works undertaken as part of the approved development do not damage Council assets or leave Council assets in an unacceptable and unsightly manner. For enquiries regarding this condition, please contact the Engineering Delegate, Development and Regulatory Services.</p>	Prior to commencement of use

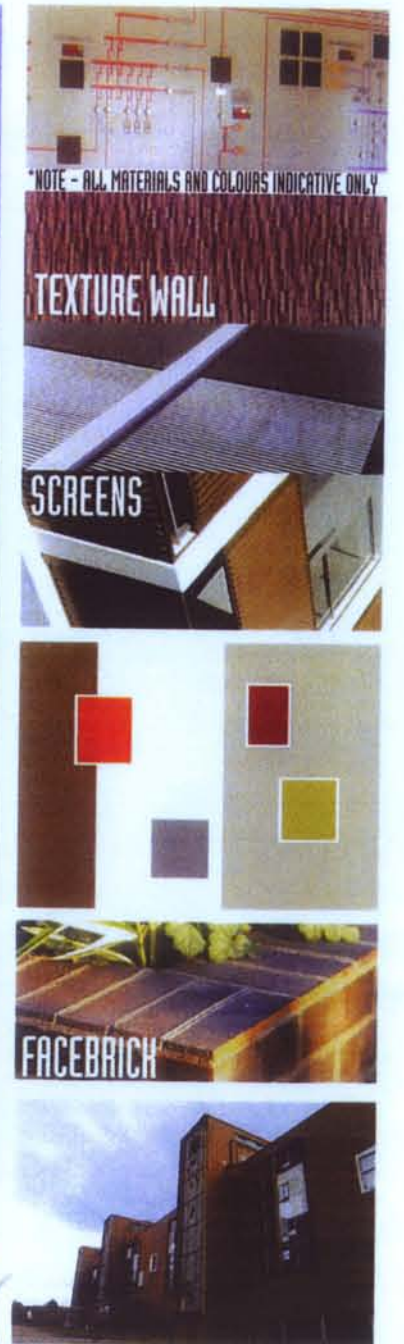
**\*\* End of Package \*\***



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PLANS AND DOCUMENTS referred to in the APPROVAL dated 9 OCT, 2009

KEY PLAN  
PLANS AND DOCUMENTS REFERRED TO IN THE DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009



date	rev	amendment
16/10/05	A	State Government Submission & NPA - (S/N)
16/10/05	B	REVISION TO BUILDING DEVELOPE - (S/N)
16/10/05	C	DA ISSUE - (S/N)
16/10/05	D	DA REVISED - (S/N)
16/10/05	E	AMENDED BUILDING CERTIFICATION - (S/N)
16/10/05	F	AMENDED DA BUILDING IN 647 - (S/N)
16/10/05	G	BCC AMENDMENTS TO BUILDING IN 647 - (S/N)
16/10/05	H	BCC AMENDMENTS TO BUILDING IN 647 - (S/N)
16/10/05	I	DA MODIFICATION - (S/N)

date	rev	amendment

project  
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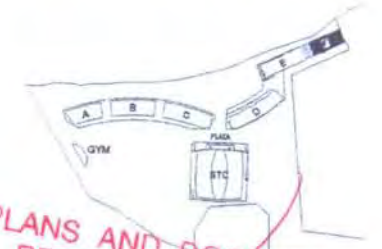
Mirvac Design  
architects  
planners  
interior designers  
L4 & L5, 104 Grey Street  
South Bank, QLD 4101  
Tel: (07) 3558 1000  
Fax: (07) 3558 1000  
Mirvac Design Pty Ltd  
ABN 78 053 558 100

DEVELOPMENT APPROVAL  
BUILDING F - COVER SHEET

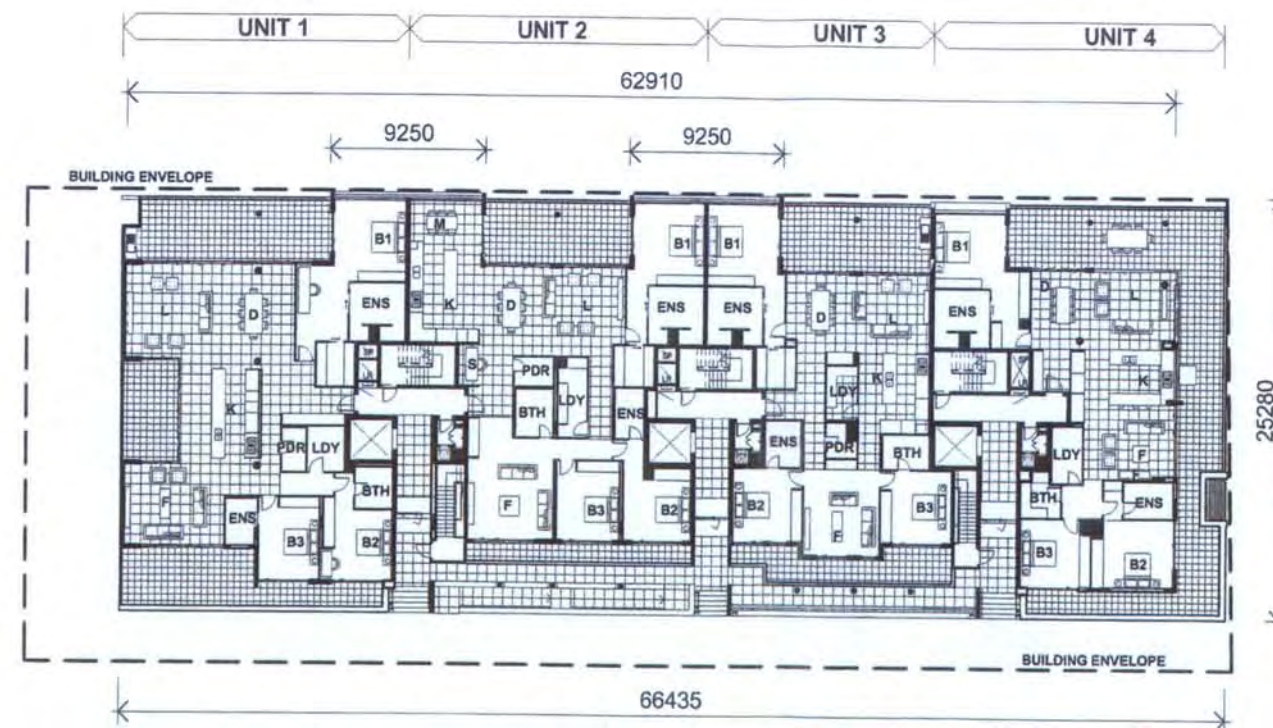
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job no. 51700  
scale @ A1 N.T.S.  
drawing no. 31-DA0000  
Signed: CASSARM: Approved BCC 067.0900



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RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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REV	DATE	AMENDMENT
A	18/10/02	State Government Submission & MFR - (DA)
B	01/11/02	REVISIONS TO BUILDING ENVELOPE - (DA)
C	08/11/02	DA ISSUE - (DA)
D	10/01/03	ADVANCED BUILDING IDENTIFICATION - (DA)
E	09/08/08	AREA TEXT ADDED - (PS)
F	01/12/08	AMENDED DA BUILDINGS 31 & 41 - (PS)
G	13/02/09	AMENDED DA BUILDINGS 31 & 41 - (PS)

REV	DATE	AMENDMENT

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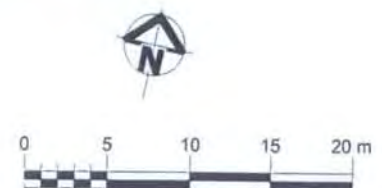
architect: **MIRVAC DESIGN**  
architects:  
planners:  
interior architects:

14/21 104 Grey Street  
South Brisbane, QLD 4101  
Tel: (07) 2888 8888  
Fax: (07) 2702 4031  
Mirvac Design Pty. Ltd.  
ABN 75 142 559 142

client: **mirvac**

title: **DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING F - LEVEL 1**

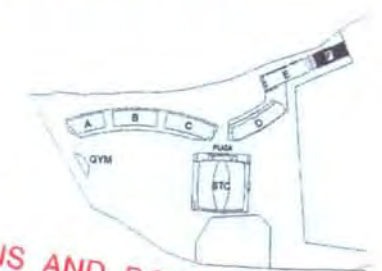
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approved: Checker  
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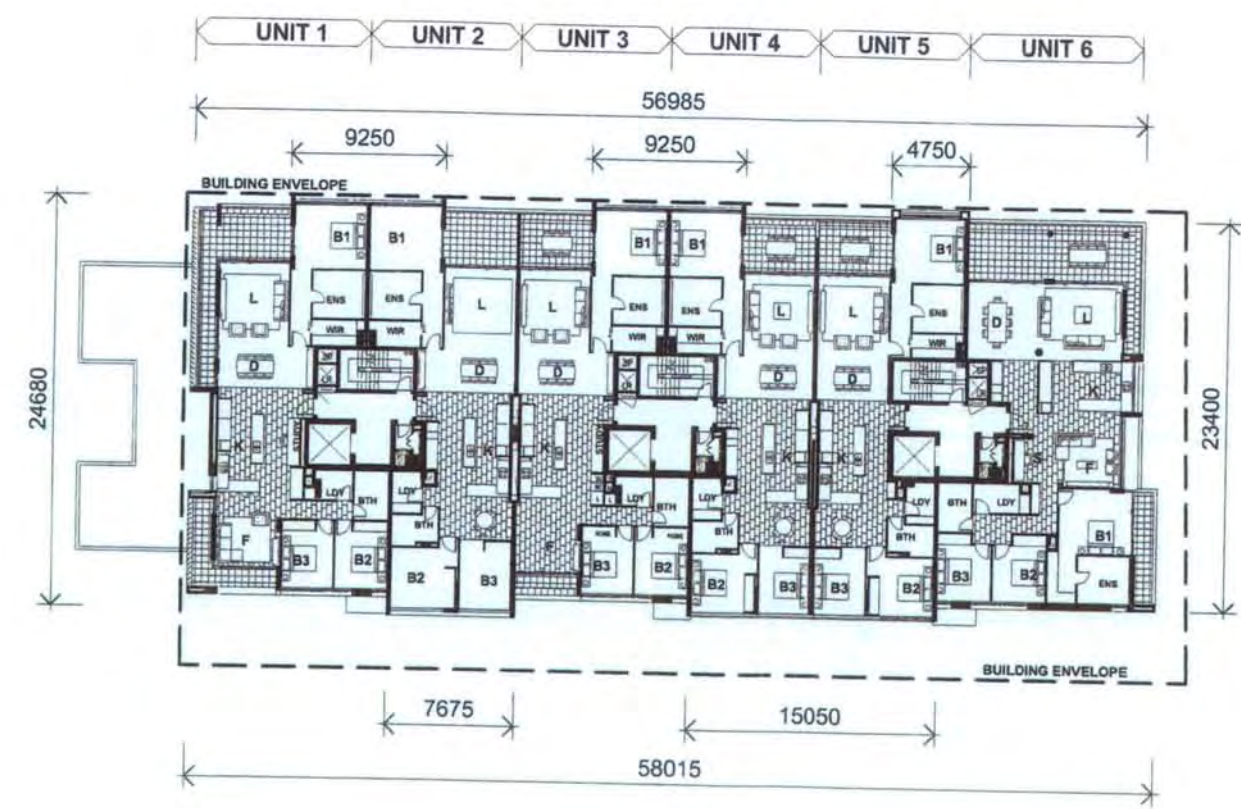


PLANS AND DOCUMENTS  
referred to in the  
- 9 OCT 2009  
APPROVAL dated / /

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RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 2.6 JUN 2009



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REV	DATE	AMENDMENT
A	18/10/08	State Government Submission & NPL - (GAG)
B	01/11/08	REVISIONS TO BUILDING ENVELOPE - (GAG)
C	08/11/08	DA ISSUE - (GAG)
D	26/04/09	AMENDED BUILDING IDENTIFICATION - (JAM)
E	18/09/09	AREA TEXT ADDED - (PJ)
F	21/12/09	AMENDED DA BUILDINGS 31 & 41 - (PJ)
G	03/09/09	AMENDED DA BUILDINGS 31 & 41 - (PJ)

REV	DATE	AMENDMENT

project

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architect

**MIRVAC DESIGN**

architects

1/12 Hilda Street, South Bank, QLD 4101

tel: (07) 3488 5096

fax: (07) 3488 5060

mirvac design Pty Ltd

ABN 75 022 586 157

client

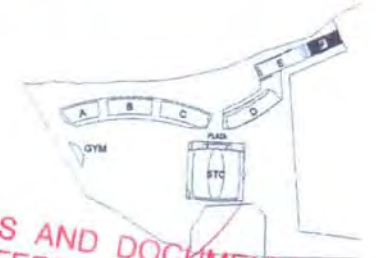
**mirvac**

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING F - LEVEL 02-06

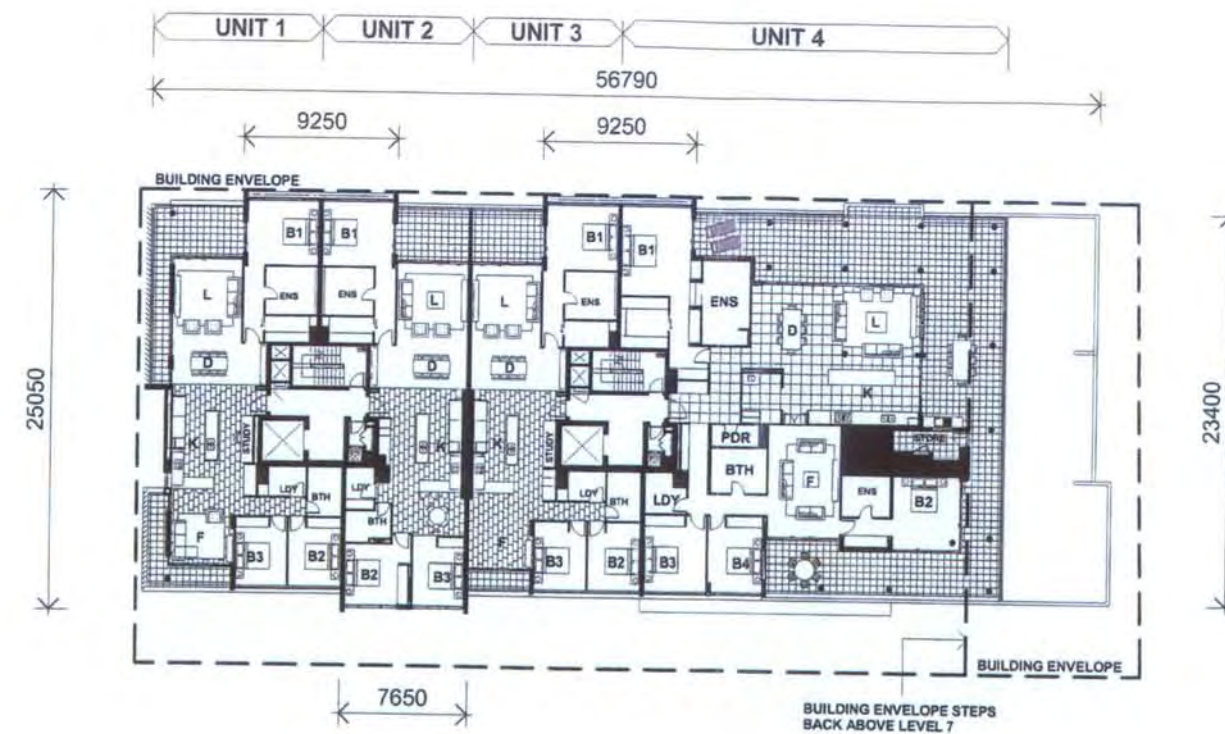
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bdg no 51731	drawing no		31-DA1012 rev G



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PROPOSAL



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ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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REV	DATE	AMENDMENT
A	21/03/08	DA R11 ISSUE - (DAS)
B	09/05/08	AMENDED BUILDING IDENTIFICATION - (VMS)
C	09/05/08	REVISED APARTMENT LAYOUT - (PS)
D	09/05/08	AREA TEXT ADDED - (PS)
E	07/10/08	AMENDED DA BUILDINGS 31 & 41 - (PS)
F	13/03/09	AMENDED DA BUILDINGS 31 & 41 - (PS)

REV	DATE	AMENDMENT

project:

**Tennyson  
Reach**

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**MIRVAC  
DESIGN**

architects  
planners  
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client:

**mirvac**

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title:

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING F - LEVEL 07 - 08

drawn: Author  
approved: Checker

job no: 517

date: 03/12/09

scale @ A1: 1 : 200

drawing no: 51731

drawing no: 31-DA1017-08-F







BCC.113.0755

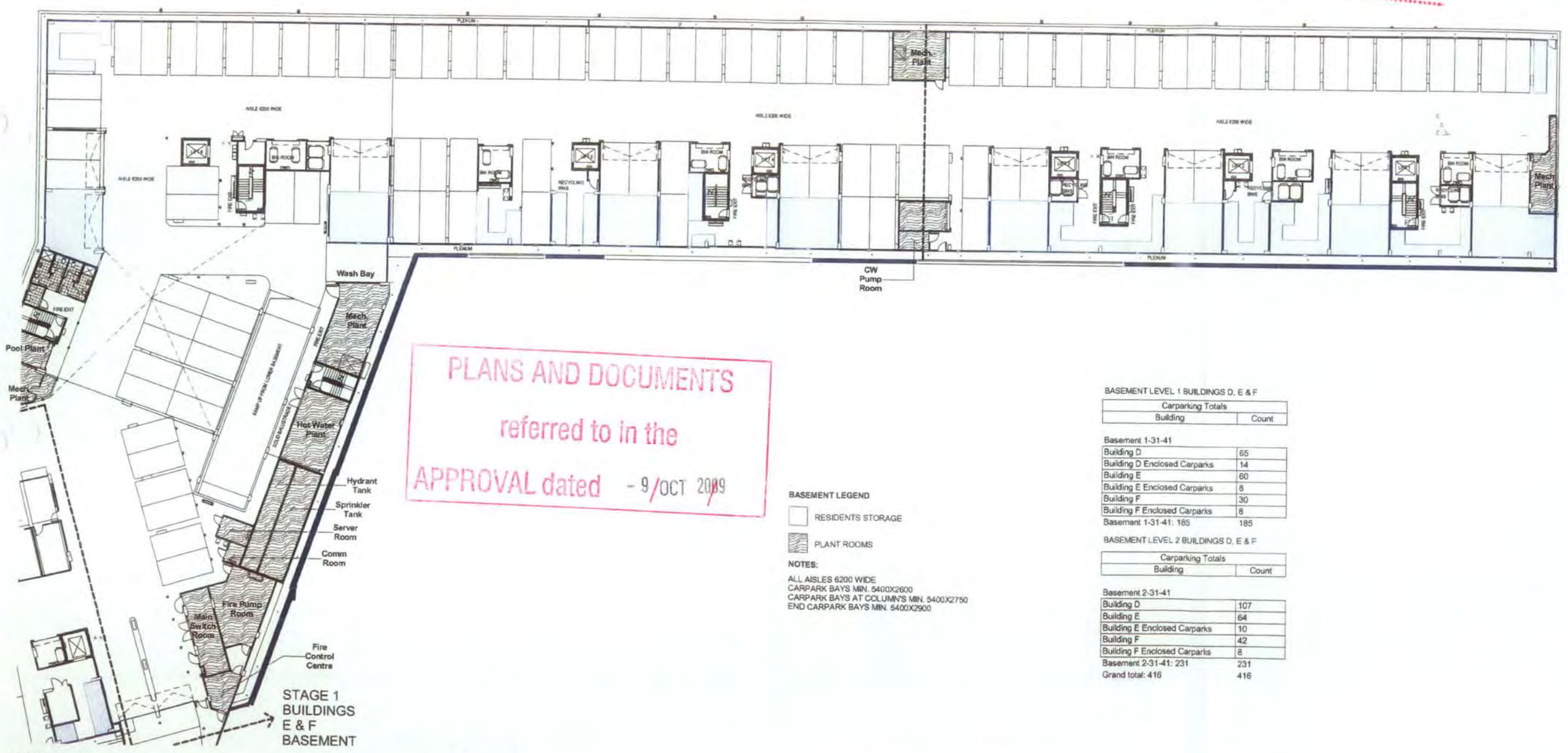




KEY PLAN

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PLANS AND DOCUMENTS REFERRED TO IN THE DEVELOPMENT PERMIT ISSUED - 8 SEP 2008 AS MODIFIED 26 JUN 2009



PLANS AND DOCUMENTS referred to in the APPROVAL dated - 9/OCT 2009

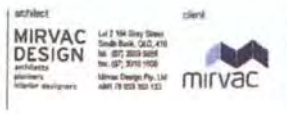
- BASEMENT LEGEND**
- RESIDENTS STORAGE
  - PLANT ROOMS

**NOTES:**  
ALL AISLES 6200 WIDE  
CARPARK BAYS MIN. 5400X2600  
CARPARK BAYS AT COLUMN'S MIN. 5400X2750  
END CARPARK BAYS MIN. 5400X2900

BASEMENT LEVEL 1 BUILDINGS D, E & F		
Carparking Totals		
Building		Count
Basement 1-31-41		
Building D		65
Building D Enclosed Carparks		14
Building E		60
Building E Enclosed Carparks		8
Building F		30
Building F Enclosed Carparks		8
Basement 1-31-41:		185
BASEMENT LEVEL 2 BUILDINGS D, E & F		
Carparking Totals		
Building		Count
Basement 2-31-41		
Building D		107
Building E		64
Building E Enclosed Carparks		10
Building F		42
Building F Enclosed Carparks		8
Basement 2-31-41:		231
Grand total:		416

REV	DATE	DESCRIPTION
A	18/10/08	State Government Submission & N.P.R. (SMA)
B	18/10/08	DA ISSUE - (SMA)
C	18/10/08	AMENDED BUILDING IDENTIFICATION - (SMA)
D	18/10/08	AMENDED DA BUILDING 11 & 12 - (SMA)
E	18/10/08	AMENDED DA BUILDING 11 & 12 - (SMA)
F	18/10/08	AMENDED DA BUILDING 11 & 12 - (SMA)
G	18/10/08	AMENDED DA BUILDING 11 & 12 - (SMA)
H	18/10/08	AMENDED DA BUILDING 11 & 12 - (SMA)

REV	DATE	DESCRIPTION
1	24/09/09	AMENDED DA APPLICATION FOR BUILDING 11 - (SMA)
2	18/10/09	STORAGE AREAS UPDATED



DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D, E, F BASEMENT 1 -  
SHEET 2 OF 2

drawn: DB	author: DB
job no: 517	date: November 06
scale: AT 1:200	
stage no: 30	drawing no: 30-DA1008revJ



## BASEMENT LEVEL 1 BUILDINGS D, E &amp; F

Carparking Totals	
Building	Count

## Basement 1-31-41

Building D	65
Building D Enclosed Carparks	14
Building E	60
Building E Enclosed Carparks	8
Building F	30
Building F Enclosed Carparks	8
Basement 1-31-41: 185	185

## BASEMENT LEVEL 2 BUILDINGS D, E &amp; F

Carparking Totals	
Building	Count

## Basement 2-31-41

Building D	107
Building E	64
Building E Enclosed Carparks	10
Building F	42
Building F Enclosed Carparks	8
Basement 2-31-41: 231	231
Grand total: 416	416

## BASEMENT LEGEND

RESIDENTS STORAGE

PLANT ROOMS

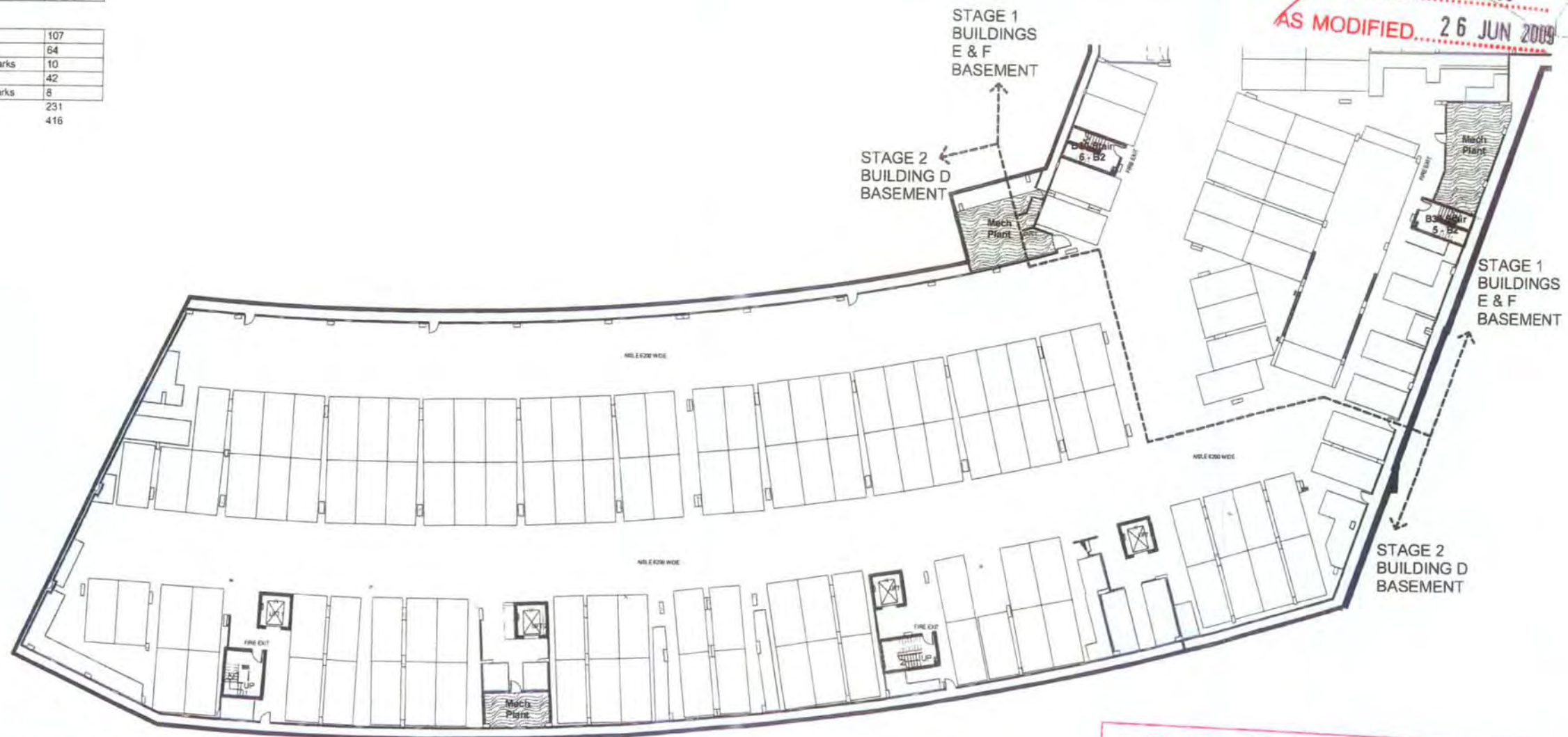
## NOTES:

ALL AISLES 6200 WIDE  
 CARPARK BAYS MIN. 5400X2600  
 CARPARK BAYS AT COLUMNS MIN. 5400X2750  
 END CARPARK BAYS MIN. 5400X2900

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 RIVERSIDE  
 DEVELOPMENT  
 PROPOSAL

KEY PLAN

PLANS AND DOCUMENTS  
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 ISSUED - 8 SEP 2008  
 AS MODIFIED - 26 JUN 2009



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PLANS AND DOCUMENTS  
 referred to in the  
 APPROVAL dated - 9 OCT 2009

REV	Date	Amendment
A	16/08/08	State Government Submission A/N/P R-2008
B	08/11/08	DA ISSUE - 08/11/08
C	09/06/09	AMENDED BUILDING IDENTIFICATION (IAM)
D	01/11/08	AMENDED DA BUILDINGS D1 & E1 - IAM
E	28/07/07	AMENDED DA ISSUE BUILDINGS D1 - E2
F	07/08/07	ISSUED FOR BUILDINGS D1 - E2
G	02/08/07	AMENDED DA APPLICATION FOR BUILDINGS D1 - E2
H	14/08/07	AMENDED DA APPLICATION FOR BUILDINGS D1 - E2

REV	Date	Amendment
1	24/08/07	AMENDED DA APPLICATION FOR BUILDINGS D1 - IAM
2	24/08/07	STORAGE AREAS UPDATED

project  
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architect  
**MIRVAC DESIGN**  
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 Tel: 07 3018 1000  
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 Mirvac Design Pty Ltd  
 ABN 18 020 100 100

**mirvac**

title  
 DEVELOPMENT APPROVAL  
 GENERAL ARRANGEMENT PLAN  
 BUILDING D, E, F BASEMENT 2 -  
 SHEET 1 OF 2

drawn: Author  
 approved: DB  
 job no: 517  
 date: November 08  
 scale: AT: 1:200  
 bldg no: 30  
 drawing no: 30-DA1009



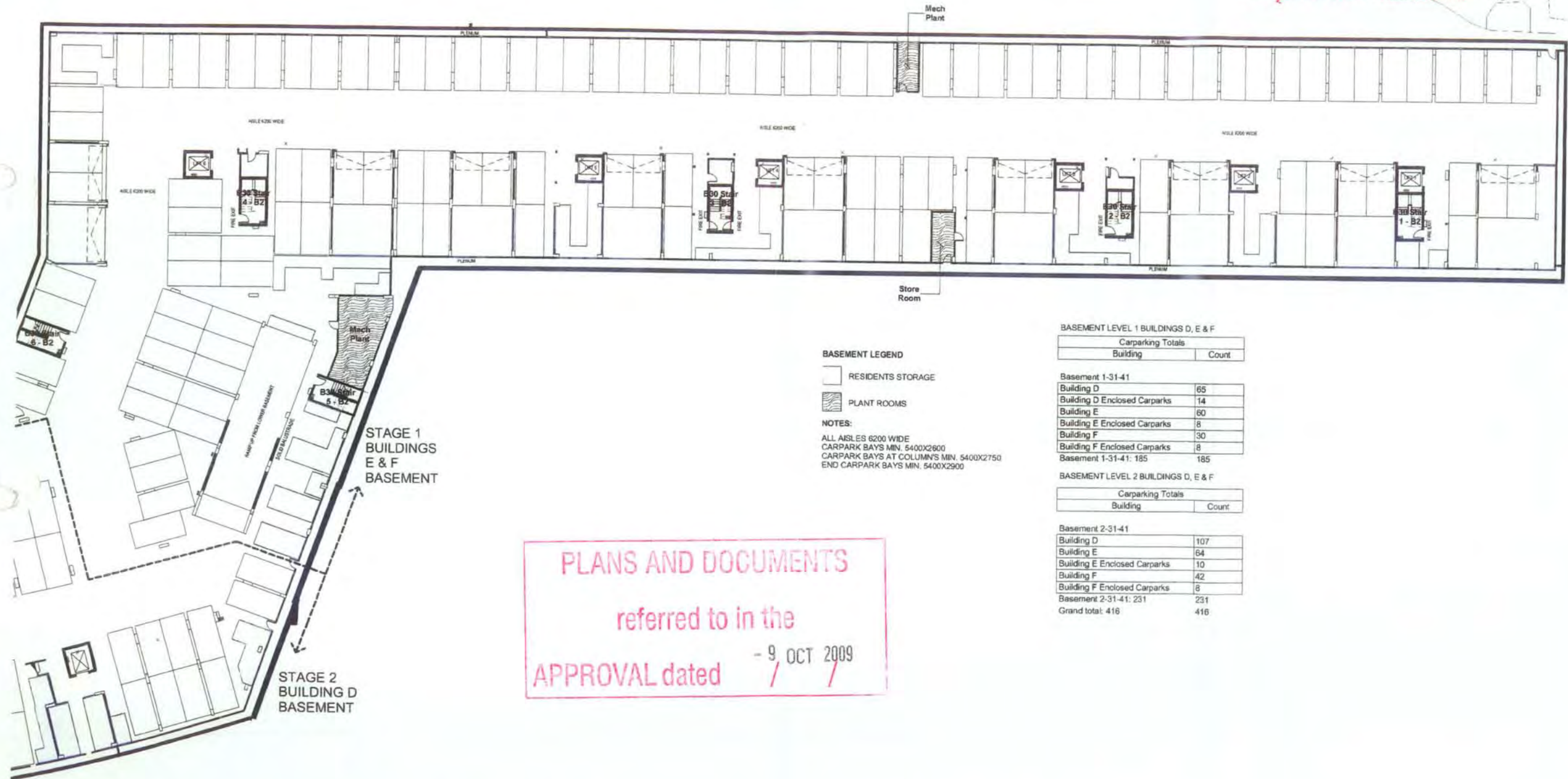
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PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED... - 8 SEP 2008

AS MODIFIED... 26 JUN 2009



#### BASEMENT LEGEND

- RESIDENTS STORAGE
- PLANT ROOMS

#### NOTES:

ALL AISLES 6200 WIDE  
CARPARK BAYS MIN. 5400X2600  
CARPARK BAYS AT COLUMNS MIN. 5400X2750  
END CARPARK BAYS MIN. 5400X2900

#### BASEMENT LEVEL 1 BUILDINGS D, E & F

Carparking Totals	
Building	Count

#### Basement 1-31-41

Building D	65
Building D Enclosed Carparks	14
Building E	60
Building E Enclosed Carparks	8
Building F	30
Building F Enclosed Carparks	8
Basement 1-31-41: 185	185

#### BASEMENT LEVEL 2 BUILDINGS D, E & F

Carparking Totals	
Building	Count

#### Basement 2-31-41

Building D	107
Building E	64
Building E Enclosed Carparks	10
Building F	42
Building F Enclosed Carparks	8
Basement 2-31-41: 231	231
Grand total: 416	416

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

REV	DATE	DESCRIPTION
A	18/05/05	State Government Submission & N.P.R. (2005)
B	08/12/05	DA ISSUE - (2005)
C	08/05/06	AMENDED DA BUILDING IDENTIFICATION - (2006)
D	01/03/06	AMENDED DA BUILDING D, E & F - (2006)
E	26/07/07	AMENDED DA BUILDING IDENTIFICATION - (2007)
F	07/05/07	ISSUED FOR BUILDING D, E & F - (2007)
G	12/05/07	AMENDED DA APPLICATION FOR BUILDING D, E & F - (2007)
H	14/05/07	AMENDED DA APPLICATION FOR BUILDING D, E & F - (2007)

REV	DATE	DESCRIPTION
1	24/05/07	AMENDED DA APPLICATION FOR BUILDING D, E & F - (2007)
2	14/05/08	STORAGE AREAS UPDATED

project  
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client  
**MIRVAC**  
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D, E, F BASEMENT 2 -  
SHEET 2 OF 2

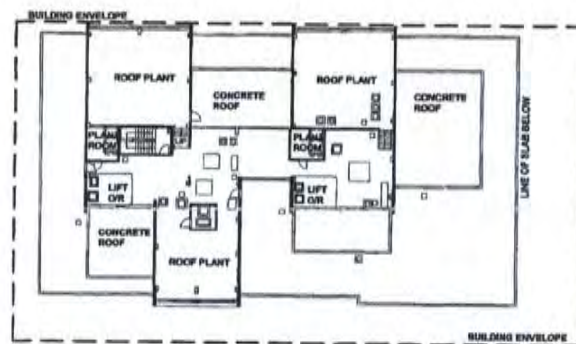
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approved DB  
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date: November 08  
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sheet no: 30  
drawing no: 30-DA1010

BCC.067.0880



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RIVERSIDE  
DEVELOPMENT  
PROPOSAL

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED... 8 SEP 2008  
AS MODIFIED... 26 JUN 2009



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PROPERTY OWNERS.



DATE	10/10/2009
BY	10/10/2009
FOR	10/10/2009
BY	10/10/2009
FOR	10/10/2009
BY	10/10/2009
FOR	10/10/2009

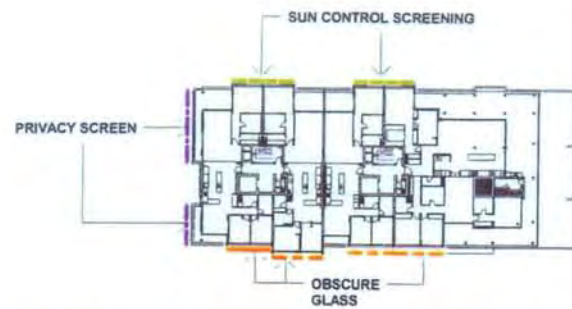
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BY	10/10/2009
FOR	10/10/2009
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FOR	10/10/2009

**Tennyson**  
**Reach**

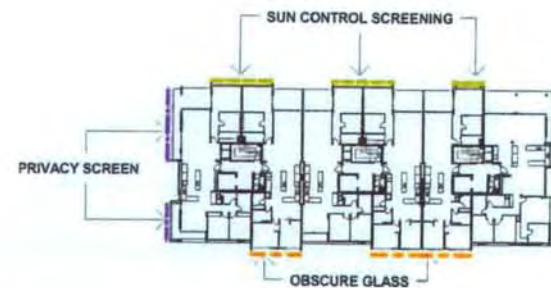
**MIRVAC**  
**DESIGN**

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING F - ROOF PLAN

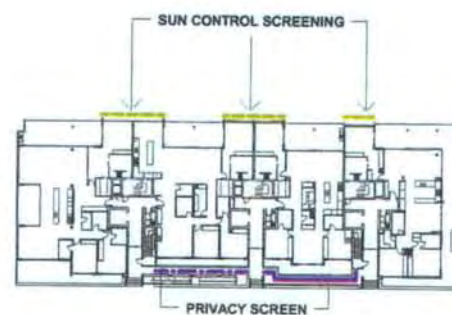
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BY: 10/10/2009  
FOR: 10/10/2009



3 Level 7-8 - SCREEN PLAN  
Scale 1:500



2 Level 2-6 - SCREEN PLAN  
Scale 1:500



1 Level 1 - SCREEN PLAN  
Scale 1:500

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#### SCREEN LEGEND

SUN CONTROL SCREENING  
PRIVACY SCREENING  
OBSCURE GLASS

**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

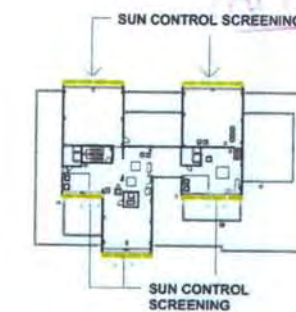


PLANS AND DOCUMENTS

referred to in the

- 9 OCT 2009

APPROVAL dated



5 Level roof - SCREEN PLAN  
Scale 1:500

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008

AS MODIFIED 26 JUN 2009



4 Level 9 - SCREEN PLAN  
Scale 1:500



rev.	date	amendment
A	21/03/08	DA PERMIT - (DA)
B	06/05/08	AMENDED BUILDING IDENTIFICATION - (DA)
C	11/12/08	AMENDED DA BUILDING 21 & 41 - (DA)
D	23/03/09	AS BUILT UPDATE

rev.	date	amendment

project:

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architect:

**MIRVAC DESIGN**

architects

Unit 2, 184 Grey Street  
South Bank, QLD, 4101  
tel: (07) 3608 8888  
fax: (07) 3608 1000  
Mirvac Design Pty Ltd  
ABN 76 607 100 112

client:

**MIRVAC**

title:

DEVELOPMENT APPROVAL  
BALCONY SCREEN PLANS  
BUILDING F

drawn:

approved:

job no: 517

date: 03/20/09

scale @ A1: 1:500

blg no: 51731

drawing no: 31-DA1030 rev.D



# TENNYSON RIVERSIDE DEVELOPMENT PROPOSAL

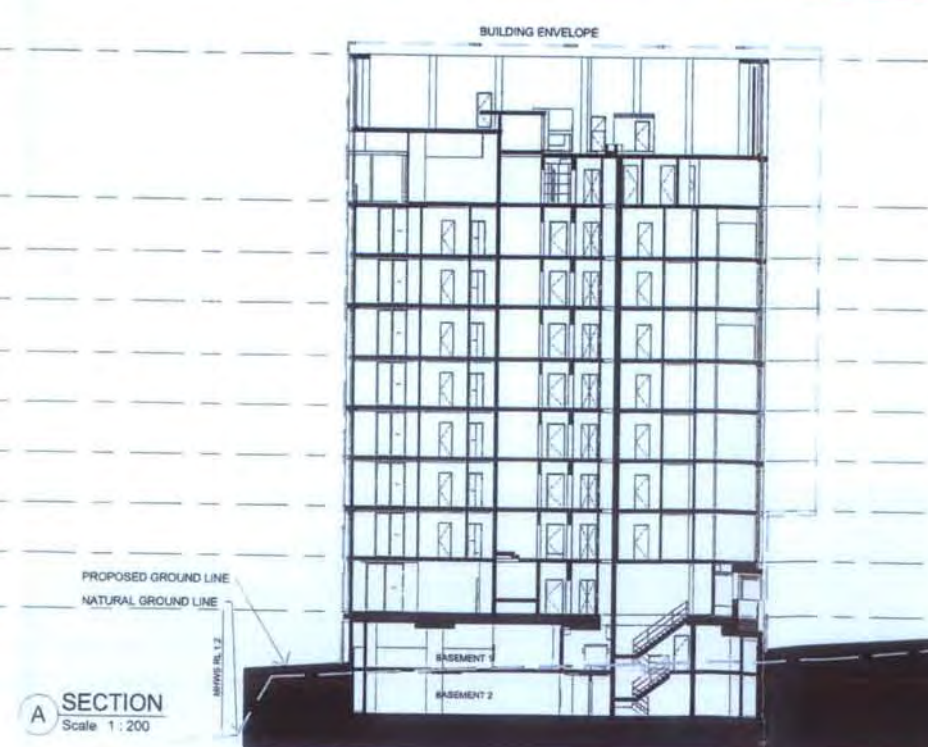
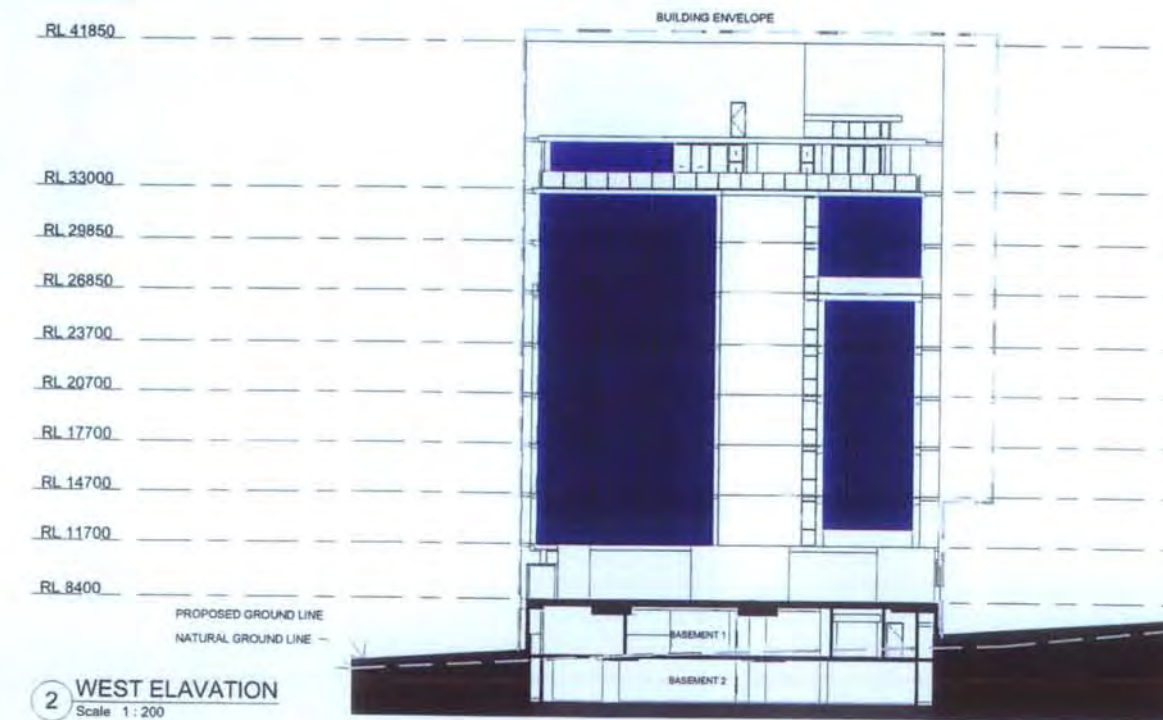
PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED... - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



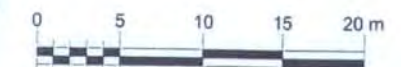
- PRIVACY SCREENING
- SUN CONTROL SCREENING
- OPAQUE GLAZING



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009



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PROPERTY OWNERS.



REV	DATE	AMENDMENT
A	21/03/08	DA 101 ISSUE - (SAG)
B	01/03/08	AMENDED DA BUILDINGS 21 & 41 - (JAB)
C	23/03/08	AS BUILT UPDATE

REV	DATE	AMENDMENT

project  
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architect  
**MIRVAC DESIGN**  
architect  
interior design

client  
Lvl 1 104 Gray Street  
South Bank, QLD 4101  
tel: 07 3500 5600  
fax: 07 3500 1800  
Mirvac Design Pty Ltd  
4800 73 000 300 100

client  
**mirvac**

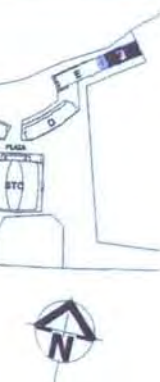
title  
DEVELOPMENT APPROVAL  
BALCONY SCREEN ELEVATIONS  
BUILDING F - SHEET 1 OF 2

drawn: J.B.  
approved: L.W.  
job no: 517  
date: 03/24/09  
scale: A1  
drawing no: 31-DA1040-100-C



**TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL**

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



- PRIVACY SCREENING
- SUN CONTROL SCREENING
- OPAQUE GLAZING



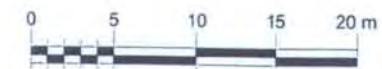
1 NORTH ELEVATION  
Scale 1:200

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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2 EAST ELEVATION  
Scale 1:200



REV	DATE	AMENDMENT
A	11/03/06	ISSUE FOR PERMIT
B	06/04/06	AMENDED BUILDING IDENTIFICATION (AM)
C	01/10/06	AMENDED BUILDING IDENTIFICATION (AM)
D	23/03/08	AS BUILT UPDATE

REV	DATE	AMENDMENT

project

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architect

**MIRVAC DESIGN**

architects  
planners  
interior designers

1/41 184 Grey Street  
South Bank, QLD, 4101  
tel: (07) 3860 8888  
fax: (07) 3860 1888  
Mirvac Design Pty Ltd  
ABN 18 000 338 102

client

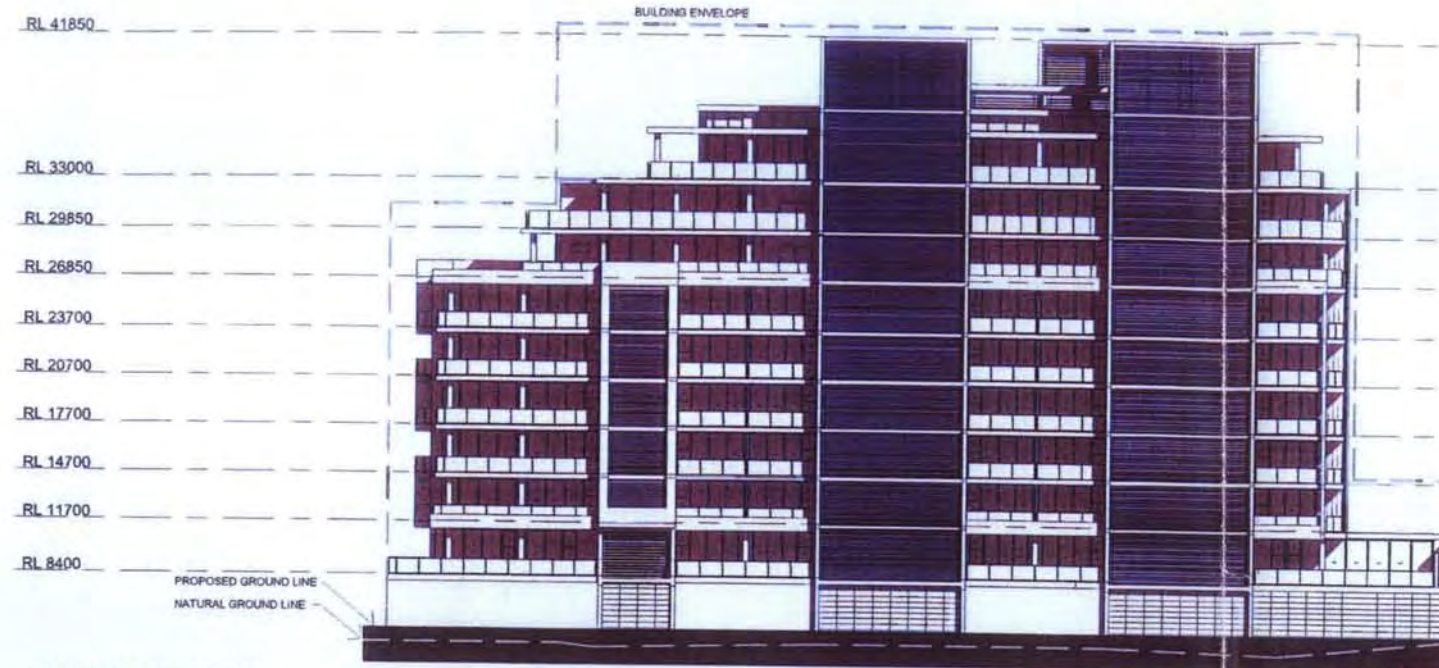
**mirvac**

title  
DEVELOPMENT APPROVAL  
BALCONY SCREEN ELEVATIONS  
BUILDING F - SHEET 2 OF 2

drawn: J.B.	approved: L.W.
job no: 517	date: 03/24/08
scale: A1	As indicated
bdg no: 51731	drawing no: 31-DA1041 rev D



# TENNYSON RIVERSIDE DEVELOPMENT PROPOSAL



1 NORTH ELEVATION  
Scale 1:200



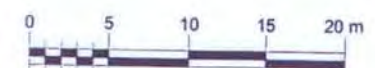
2 EAST ELEVATION  
Scale 1:200

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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WALLS OR FENCES. PERMISSION MUST  
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PROPERTY OWNERS.



REV	DATE	AMENDMENT
A	18/10/08	State Government Submission & NPE - (200)
B	17/11/08	REVISIONS TO BUILDING ENVELOPE - (200)
C	08/11/08	DA ISSUE - (200)
D	24/02/09	DA REVISED - (200)
E	19/03/09	AMENDED BUILDING IDENTIFICATION - (200)
F	07/02/09	AMENDED DA BUILDINGS 21 & 41 - (200)
G	22/05/09	AS BUILT UPDATE

REV	DATE	AMENDMENT

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architect  
**MIRVAC DESIGN**  
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14/2 Hill Street  
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Tel: (02) 9559 1888  
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Mirvac Design Pty Ltd  
ABN 19 002 325 153

client  
**mirvac**

file:  
DEVELOPMENT APPROVAL  
ELEVATION SHEET 1  
BUILDING F

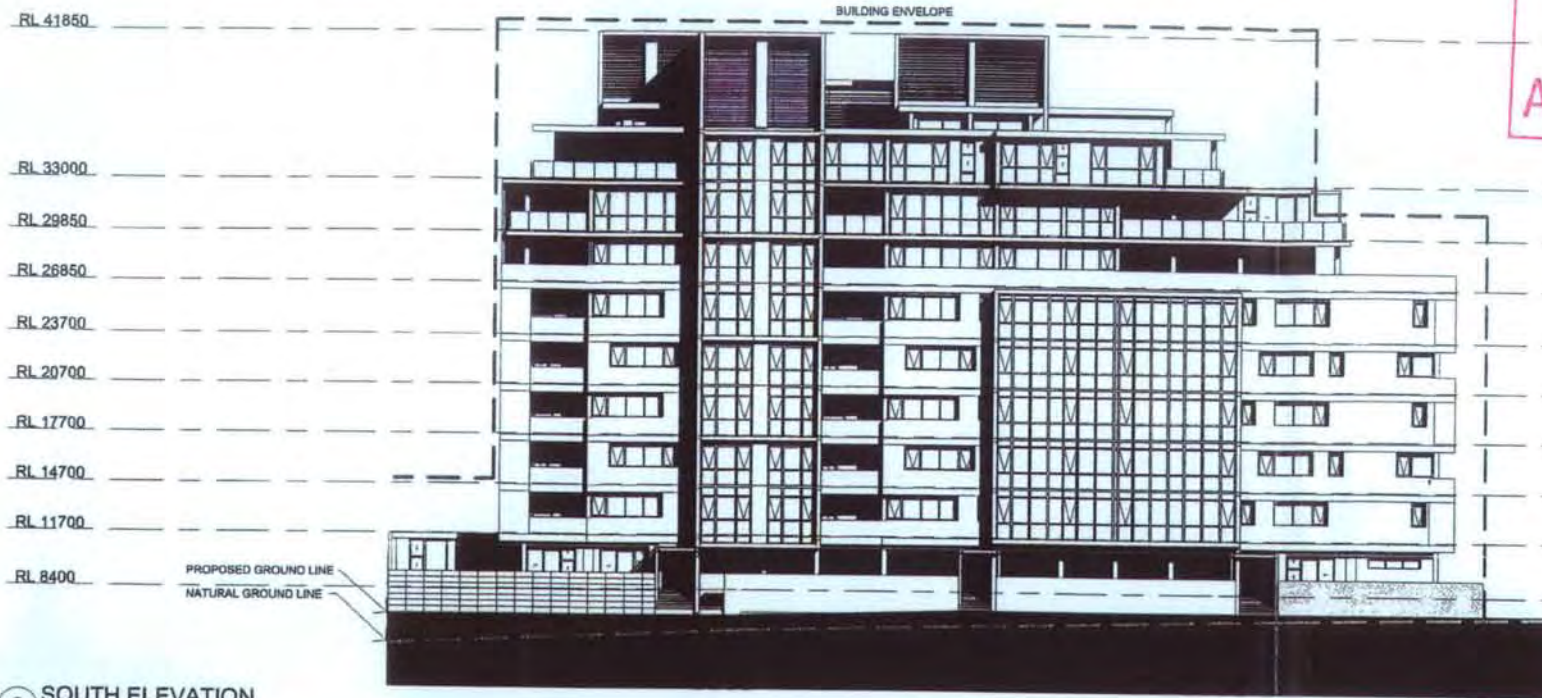
drawn: J.B.  
approved: L.W.  
job no: 517 date: 03/18/09 scale @ A1: 1:200  
tdg no: 51731 drawing no: 31-DA1600-G



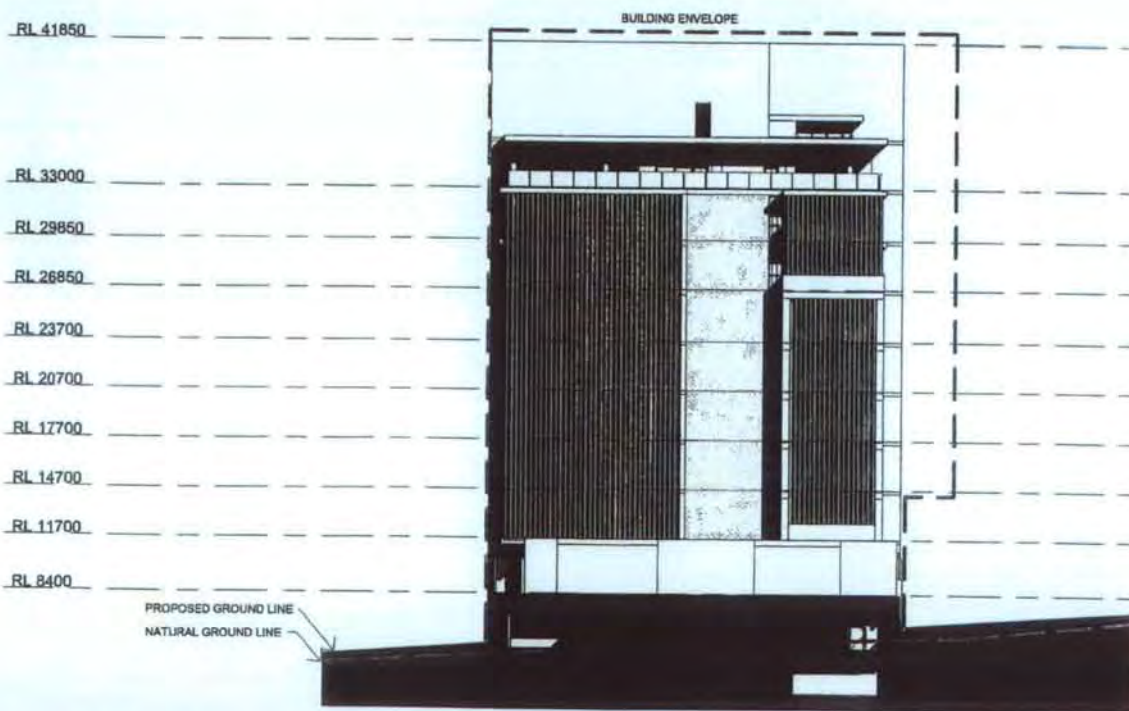
PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2008

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

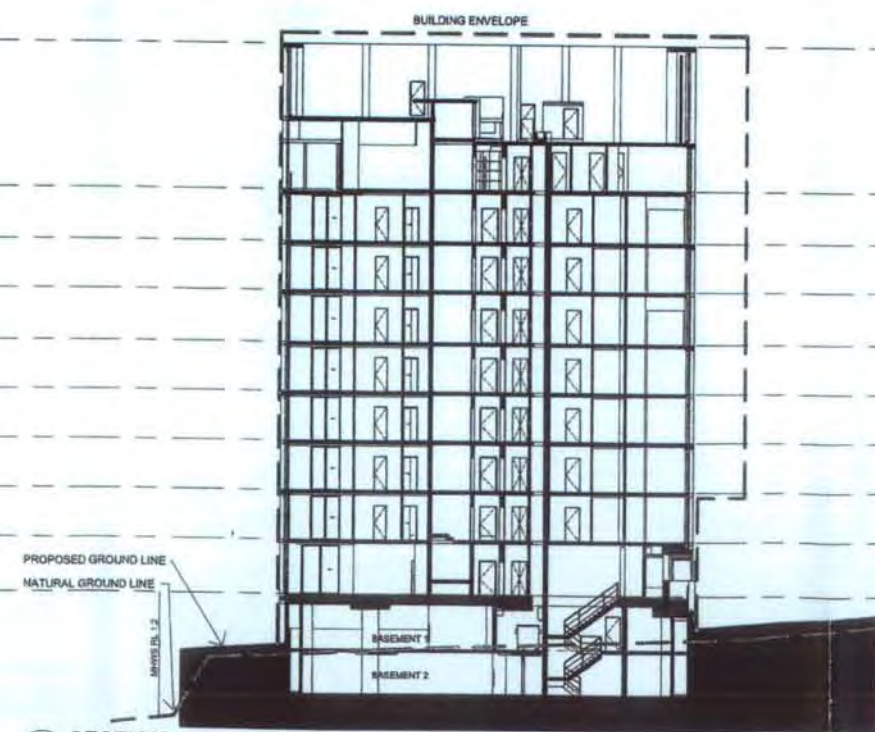
PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



3 SOUTH ELEVATION  
Scale 1:200

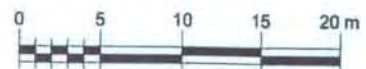


4 WEST ELAVATION  
Scale 1:200



A SECTION  
Scale 1:200

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PROPERTY OWNERS.



REV	DATE	AMENDMENT
A	18/10/08	State Government Submission & NPS - (2008)
B	21/11/08	REVISIONS TO BUILDING DEVELOPMENT - (2008)
C	18/12/08	DA ISSUE - (2008)
D	24/02/09	DA RPT ISSUE - (2009)
E	18/05/09	AMENDED BUILDING IDENTIFICATION - (2009)
F	21/05/09	AMENDED DA BUILDING 21 & 41 - (2009)
G	23/05/09	AS BUILT UPDATE

REV	DATE	AMENDMENT

project  
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architect  
**MIRVAC DESIGN**  
architects  
interior designers  
141-214 Grey Street  
South Brisbane, QLD 4101  
tel: (07) 3888 9888  
fax: (07) 3170 1400  
mirvacdesign@tpy.com.au  
AS/NZS 1910:2005

client  
**mirvac**

title  
DEVELOPMENT APPROVAL  
ELEVATION SHEET 2 + SECTION  
BUILDING F

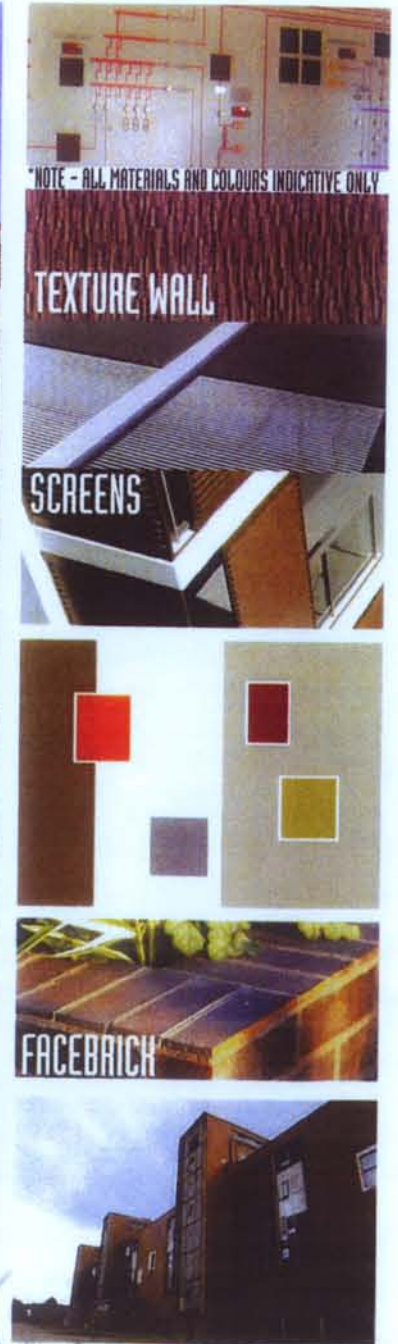
drawn: J.B.  
approved: L.W.  
job no: 517 date: 03/10/08 scale: A1: 1:200  
sheet no: 51731 drawing no: 31-DA1601 rev: G



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APPROVAL dated - 9 OCT 2009 / /

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PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED... 8 SEP 2008  
AS MODIFIED... 2 JUN 2009



date	rev	amendment
12/10/08	A	State Government Submission & R.F.R. - (CP)
20/11/08	B	Revisions to Building Envelope - (CP)
08/11/08	C	DA Issue - (CP)
18/11/08	D	Amended DA Building 11.1 - (CP)
10/01/09	E	DA Amendments to Bldg 11.1 - (CP)
20/04/09	F	DA Amendments to Building 11 - (CP)
27/05/09	G	DA Building 11 - (CP)

date	rev	amendment

project  
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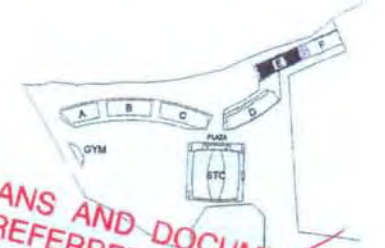
**Mirvac Design**  
architects  
planners  
interior designers  
L4/2, 184 Grey Street  
South Bank, QLD 4101  
Tel: (07) 3450 0000  
Fax: (07) 3450 1000  
Mirvac Design Pty Ltd  
ABN 78 003 009 105

DEVELOPMENT APPROVAL  
BUILDING E - COVER SHEET

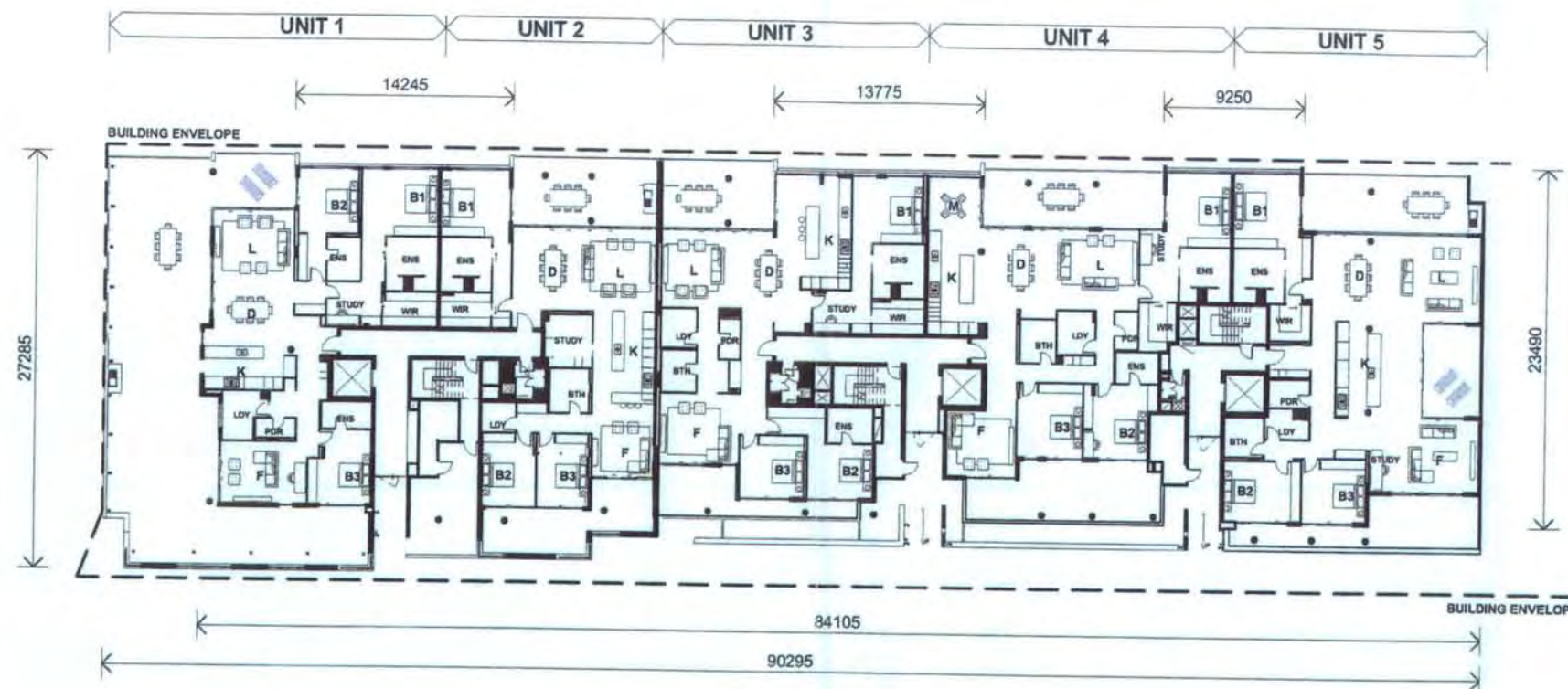
drawn  
scale @ A1 N.T.S.  
date  
job no. 51700  
drawing no. 41-DA0000 rev G  
Signed: CASSAM: Approved BCC.067.0948



**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED... 8 SEP 2008  
AS MODIFIED... 26 JUN 2009



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 9 OCT 2009

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REV	DATE	DESCRIPTION
A	18/03/06	State Government Submission & N.P.B. (SMA)
B	01/04/06	REVISIONS TO BUILDING ENVELOPE - (SMA)
C	06/04/06	DA ISSUE - (SMA)
D	06/04/06	AREA TEXT ADDED - (PS)
E	01/05/06	AMENDED DA BUILDINGS 21 & 41 - (S.P)
F	13/05/06	AMENDED DA BUILDINGS 21 & 41 - (PS)

REV	DATE	DESCRIPTION

project:  
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architect:  
**MIRVAC DESIGN**  
architects  
1st Floor, 100 Grey Street  
South Brisbane, QLD 4101  
Tel: (07) 3333 3333  
Fax: (07) 3333 3333  
www.mirvac.com.au

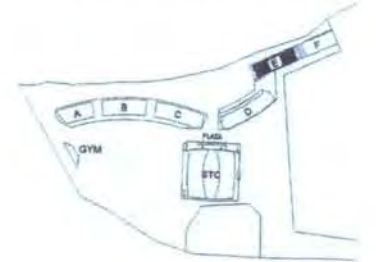
client:  
**MIRVAC**  
Mirvac Group Pty Ltd  
400-1000 333 112

site:  
**DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING E - LEVEL 01**

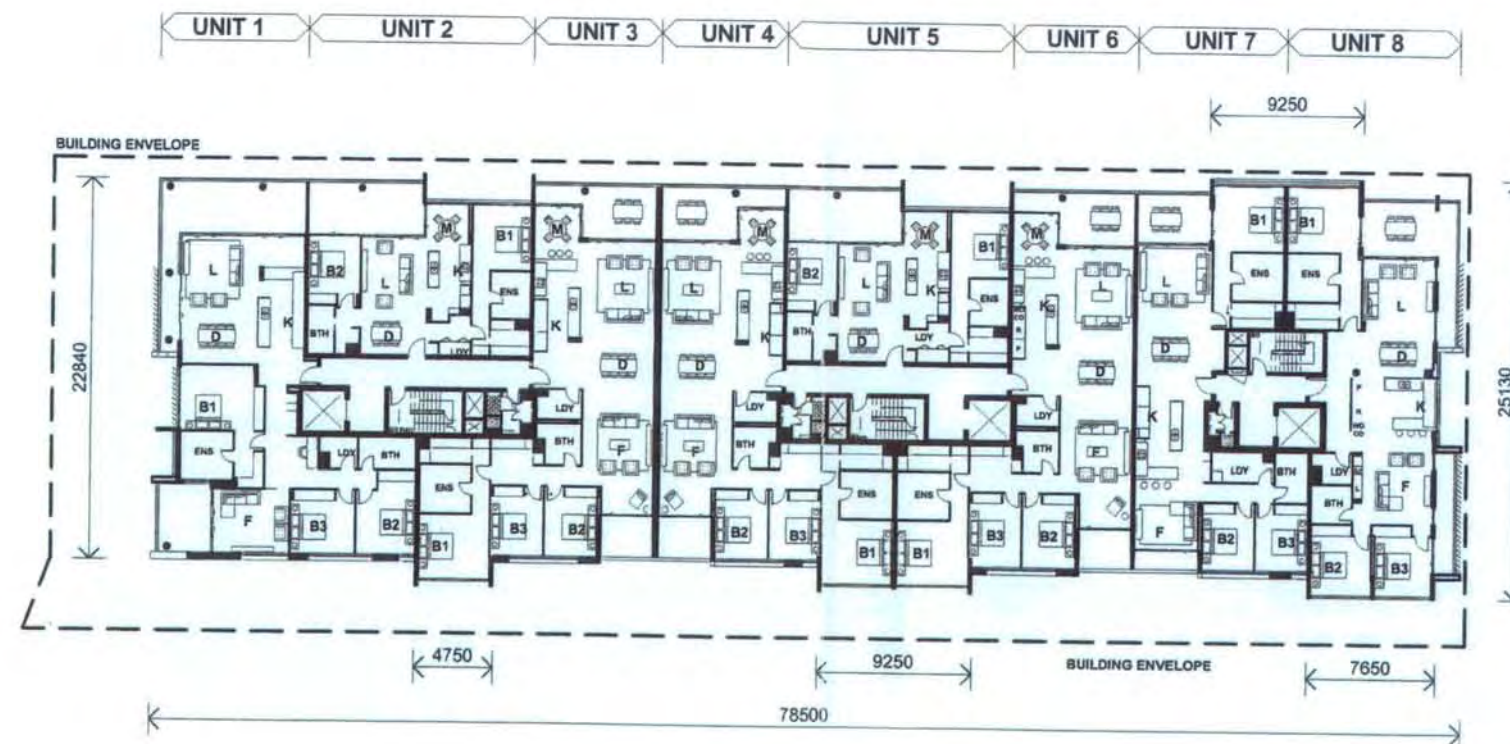
drawn: -  
approved: -  
job no: 517  
date: 11/02/06  
scale: A1: 1:200  
job no: 51741  
drawing no: 41-DA1011 rev: F



**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL** dated **9 OCT 2009**



**PLANS AND DOCUMENTS**  
**REFERRED TO IN THE**  
**DEVELOPMENT PERMIT**  
**ISSUED** **8 SEP 2008**  
**AS MODIFIED** **26 JUN 2009**

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**PROPERTY OWNERS.**

REV	DATE	AMENDMENT
A	18/10/08	State Government Submission & N.P.R. - (SM)
B	18/10/08	DA ISSUE - (SM)
C	18/10/08	AREA TEST ACCORD - (PS)
D	18/10/08	AMENDED DA BUILDINGS 31 & 41 - (PS)
E	18/10/08	AMENDED DA BUILDINGS 31 & 41 - (PS)

REV	DATE	AMENDMENT

project  
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**MIRVAC DESIGN**  
architects  
proposals  
interior design  
1/13 WA Grey Street  
South Perth, WA 6150  
Tel: (08) 9488 1888  
Fax: (08) 9488 1890  
Mirvac Design Pty. Ltd.  
ABN 15 003 328 133

client  
**mirvac**

title  
**DEVELOPMENT APPROVAL**  
**GENERAL ARRANGEMENT PLAN**  
**BUILDING E - LEVEL 02-07**

drawn:  
approved:  
job no: 517 date: 11/28/08 scale @ A1: 1:200  
bldg no: 51741 drawing no: 41-DA1012 rev E

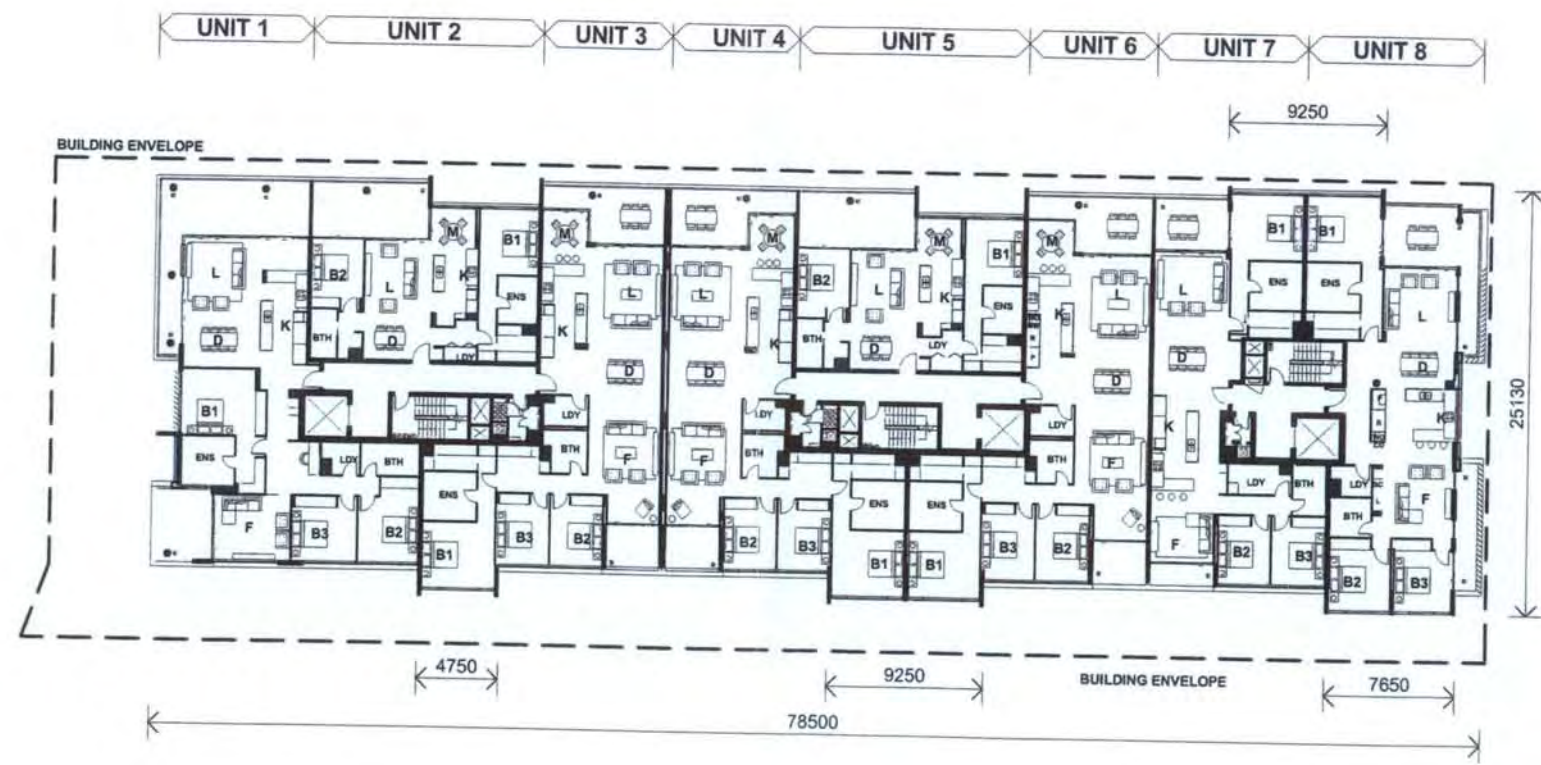




**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009



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PROPERTY OWNERS.

rev	date	amendment
A	18/10/08	State Government Submission & N.P.R. (SAC)
B	28/11/08	DA ISSUE - (DMG)
C	28/05/09	AREA TEXT ADDED - (PIS)
D	01/12/08	AMENDED DA BUILDINGS 31 & 41 - (LP)
E	18/03/09	AMENDED DA BUILDINGS 31 & 41 - (CH)

rev	date	amendment

project: **Tennyson Reach**

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architect: **MIRVAC DESIGN**

architects: **MIRVAC DESIGN**

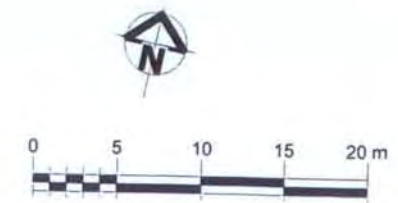
planners: **MIRVAC DESIGN**

interior designers: **MIRVAC DESIGN**

14/11/04 Gery Street  
South Bank, QLD 4101  
tel: 071 569 0000  
fax: 071 569 0000  
www.mirvac.com.au

client: **MIRVAC**

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING E - LEVEL 08



drawn: -	approved: -
job no: 517	date: 12/04/08
tdg no: 51741	drawing no: 41-DA1018 rev E

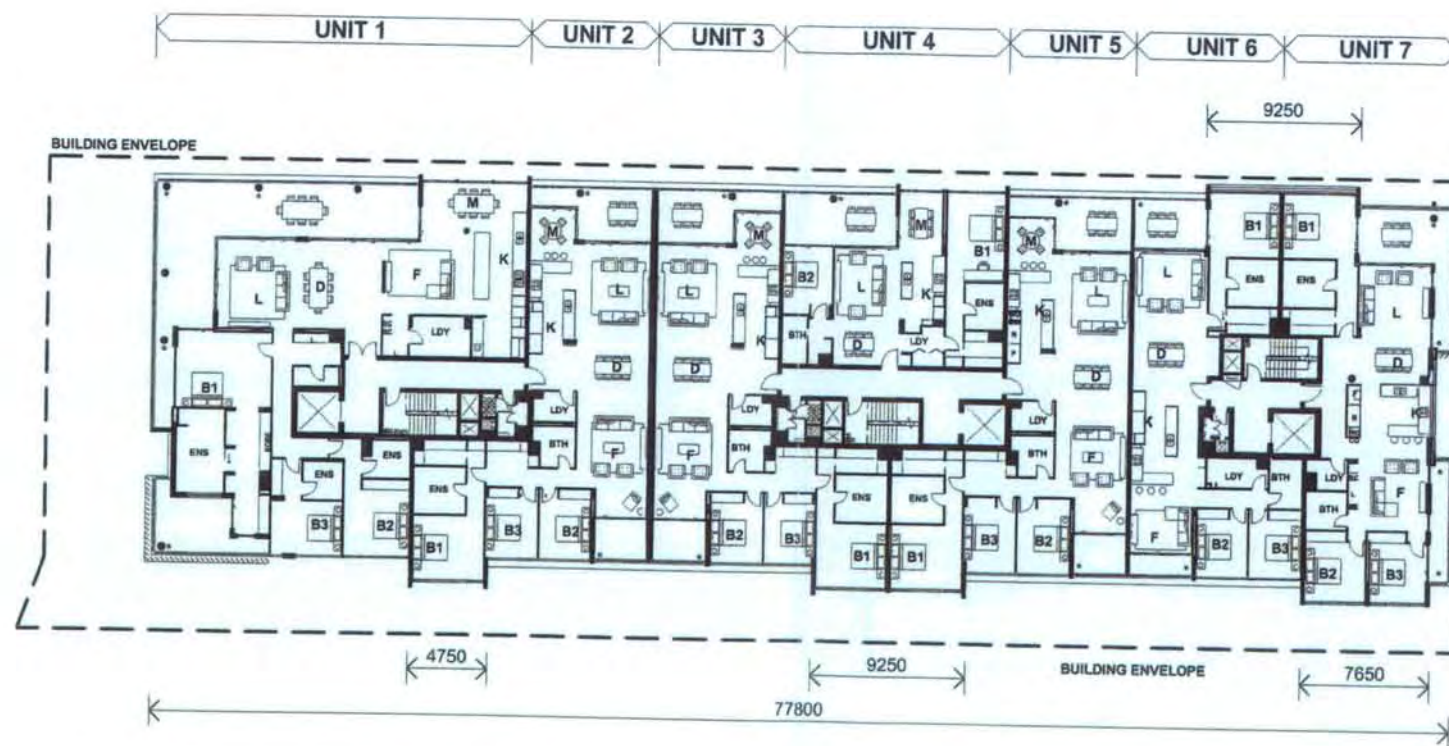


**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



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REV.	DATE	DESCRIPTION
A	10/10/08	State Government Submission & N.P.R. (S&G)
B	10/10/08	CA 100 (S&G)
C	10/10/08	AREA TEXT ADDED (S&G)
D	10/10/08	AMENDED CA BUILDINGS 31 & 41 (S&G)
E	10/10/08	AMENDED CA BUILDINGS 31 & 41 (S&G)

REV.	DATE	AMENDMENT

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architect: **MIRVAC DESIGN**  
1/43 Via Grey Street  
South East, QLD 4101  
Tel: (07) 3555 8888  
Fax: (07) 3555 1000  
Mirvac Design Pty Ltd  
Suite 10/103, 103A-105

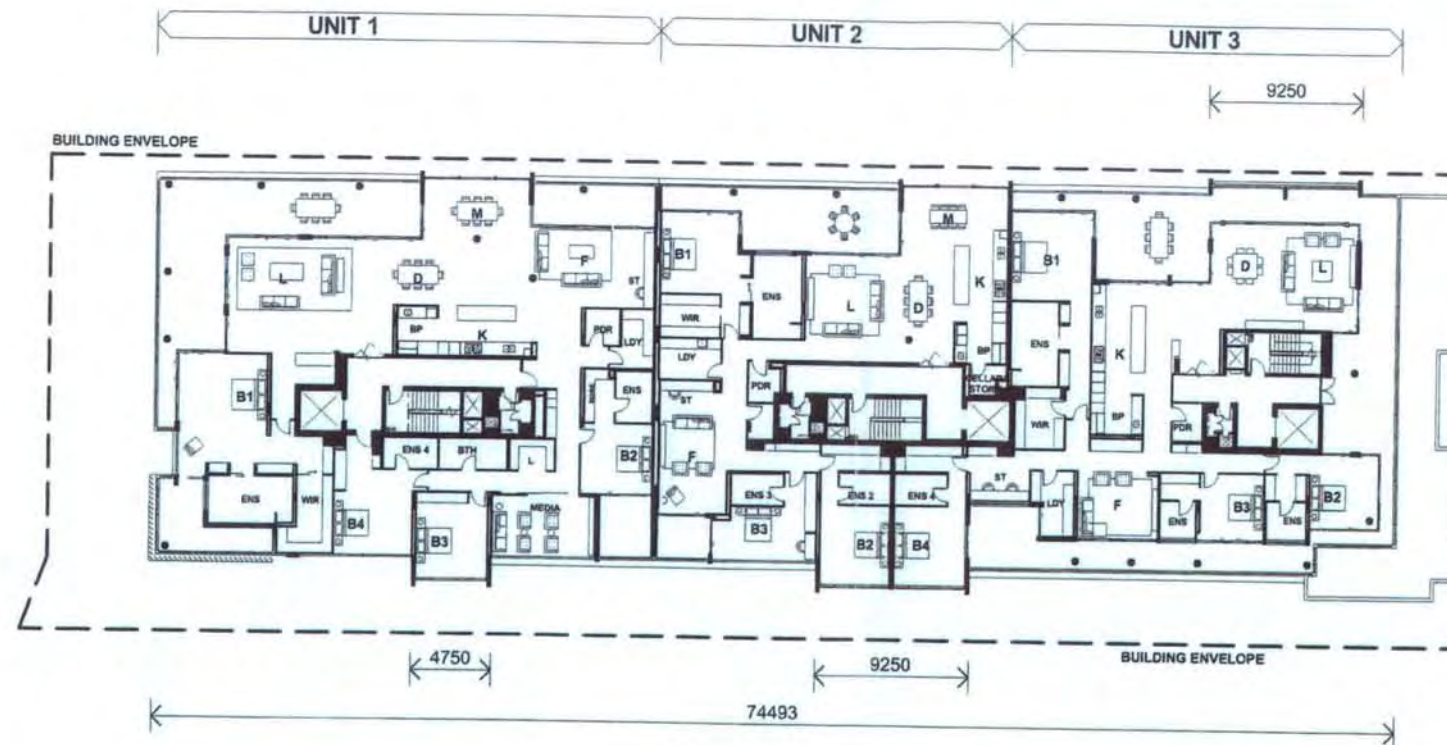
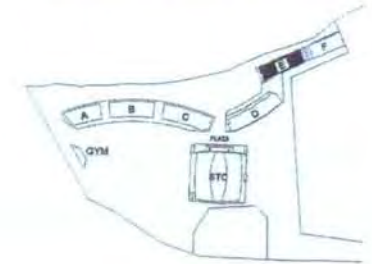
title: **DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING E - LEVEL 09**

drawn: Author  
approved: Checker  
job no: 517  
date: 11/25/08  
scale: A1: 1:200  
tdg no: 51741  
drawing no: 41-DA1019rev E



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

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WALLS OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

REV	DATE	AMENDMENT
A	18/10/08	State Government Submission & N.P.R. (2008)
B	18/10/08	DA ISSUE - (2008)
C	09/09/08	AREA TEXT ADDED - (P15)
D	11/12/08	AMENDED DA BUILDINGS 11 & 41 - (L.P.)
E	13/02/09	BCC AMENDMENTS TO BUILDINGS E & F
F	26/04/07	BCC AMENDMENTS TO BUILDINGS E
G	13/03/09	AMENDED DA BUILDINGS 21 & 41 - (P15)

REV	DATE	AMENDMENT

project:  
**Tennyson Reach**  
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architect:  
**MIRVAC DESIGN**  
architects  
interior design

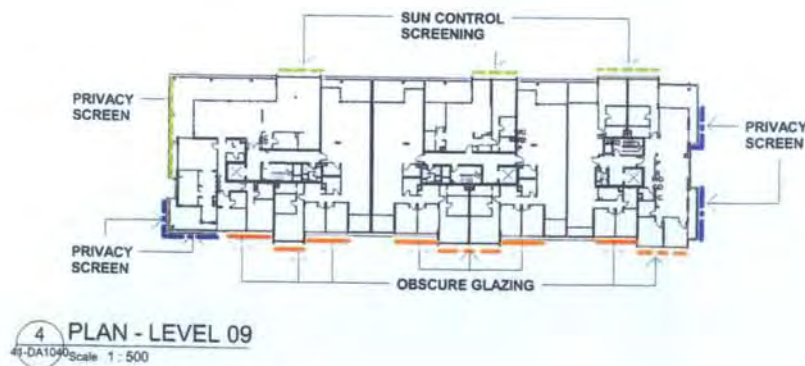
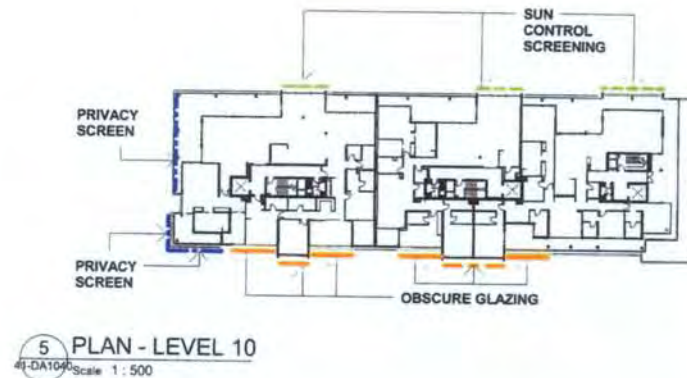
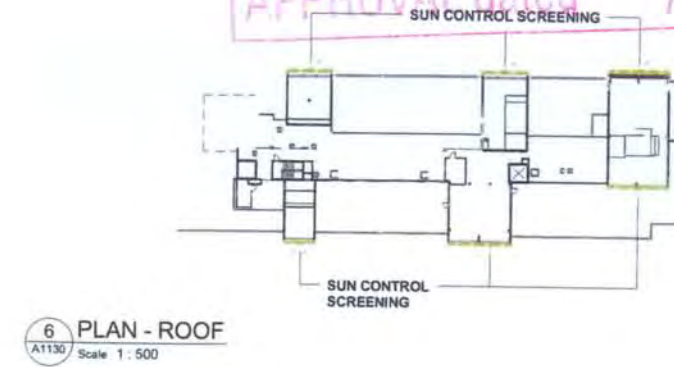
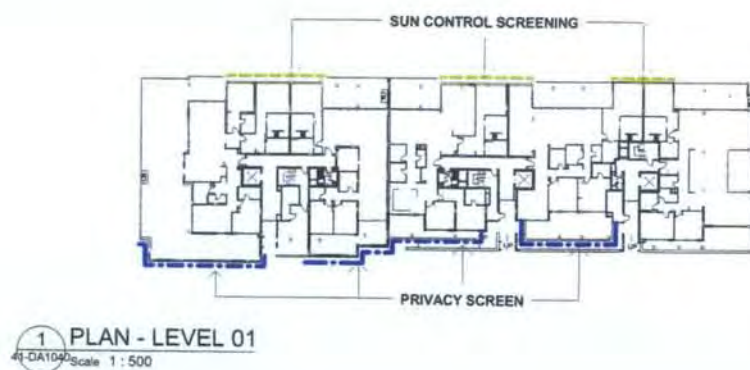
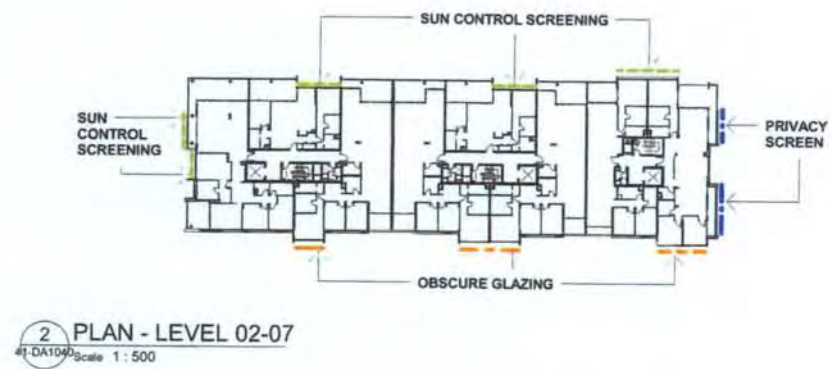
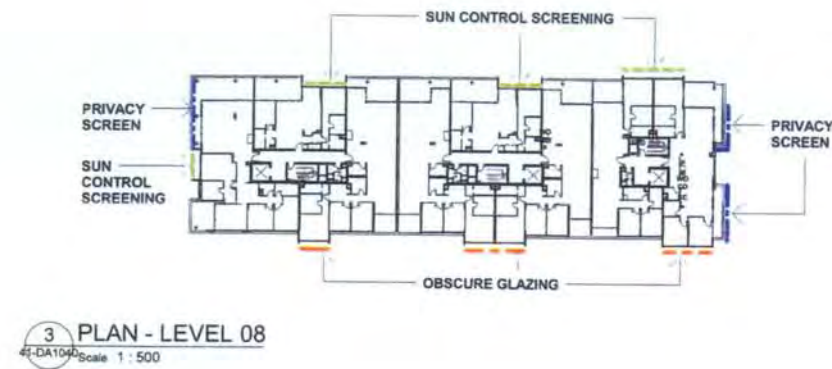
client:  
**MIRVAC**

title:  
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING E - LEVEL 10

drawn:  
approved:  
job no: 517  
date: 11/28/06  
scale @ A1: 1:200  
plot no: 51741  
drawing no: 41-DA1020.G

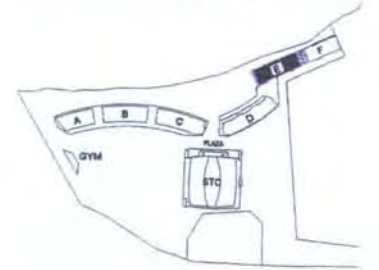






PLANS AND DOCUMENTS  
referred to in the  
- 9 OCT 2009  
APPROVAL dated / /

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



SCREEN LEGEND

SUN CONTROL SCREENING  
PRIVACY SCREENING  
OBSCURE GLASS

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

THIS APPROVAL SHOULD NOT BE TAKEN  
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CONSTRUCT ANY BUILT TO BOUNDARY  
WALLS OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.



rev	date	amendment
A	25/03/06	DA RFI ISSUE - (SMA)
B	01/03/08	AMENDED DA BUILDINGS 21 & 41 - (LP)
C	13/03/07	BCC AMENDMENTS TO BLDG E & F - (LP)
D	30/04/07	BCC AMENDMENTS TO BLDG E - (LP)
E	23/03/09	AS-BUILT UPDATE

rev	date	amendment

project  
Tennyson  
Reach

architect  
MIRVAC  
DESIGN

client  
mirvac

DEVELOPMENT APPROVAL  
BALCONY SCREEN PLANS  
BUILDING E

drawn:  
approved:  
job no: 517 date: 12/01/06 scale @ A1: 1:500  
bldg no: 51741 drawing no: 41-DA1030 rev: E







**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

RL 45130

RL 36000

RL 32850

RL 29700

RL 26700

RL 23700

RL 20700

RL 17700

RL 14700

RL 11700

RL 8400

3 SOUTH ELEVATION  
Scale 1:200



RL 45130

RL 36000

RL 32850

RL 29700

RL 26700

RL 23700

RL 20700

RL 17700

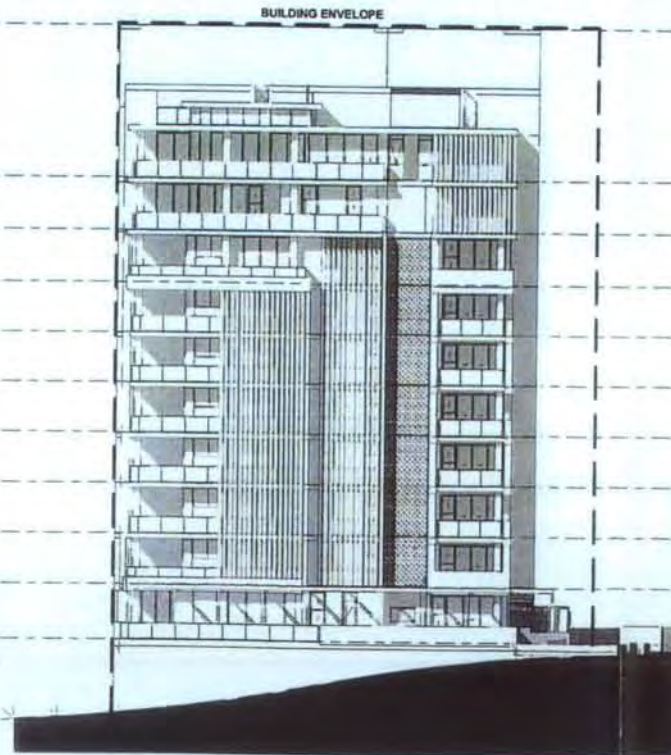
RL 14700

RL 11700

RL 8400

4 WEST ELEVATION  
Scale 1:200

PROPOSED GROUND LINE  
NATURAL GROUND LINE



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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PROPERTY OWNERS.

0 5 10 15 20 m

REV. DATE AMENDMENT  
A 18/10/05 State Government Submission & R.P. 11 - (SAR)  
B 01/11/05 REVISIONS TO BUILDING ENVELOPE - (SAR)  
C 06/11/05 DA ISSUE - (SAR)  
D 01/12/05 AMENDED DA BUILDINGS 31 & 41 - (S/P)  
E 13/01/07 ACC AMENDMENTS TO BLDGS E & F - (AL)  
F 01/02/07 ACC BUILD UPDATE

REV. DATE AMENDMENT

project  
**Tennyson Reach**

architect  
**MIRVAC DESIGN**  
architects  
interior designers

client  
**mirvac**

title  
DEVELOPMENT APPROVAL  
ELEVATION SHEET 2  
BUILDING E

drawn: J.B.  
approved: L.W.  
job no: 517 date: 03/2008 scale @ A1: 1:200  
body no: 51741 drawing no: 41-DA1601 rev F

BCC.067.0963



RL 45130

BUILDING ENVELOPE

RL 36000

RL 32850

RL 29700

RL 26700

RL 23700

RL 20700

RL 17700

RL 14700

RL 11700

RL 8400

3 SOUTH ELEVATION  
Scale 1:200



**TENNYN**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

PRIVACY  
SCREENING  
SUN CONTROL  
SCREENING  
OPAQUE  
GLAZING

RL 45130

BUILDING ENVELOPE

RL 36000

RL 32850

RL 29700

RL 26700

RL 23700

RL 20700

RL 17700

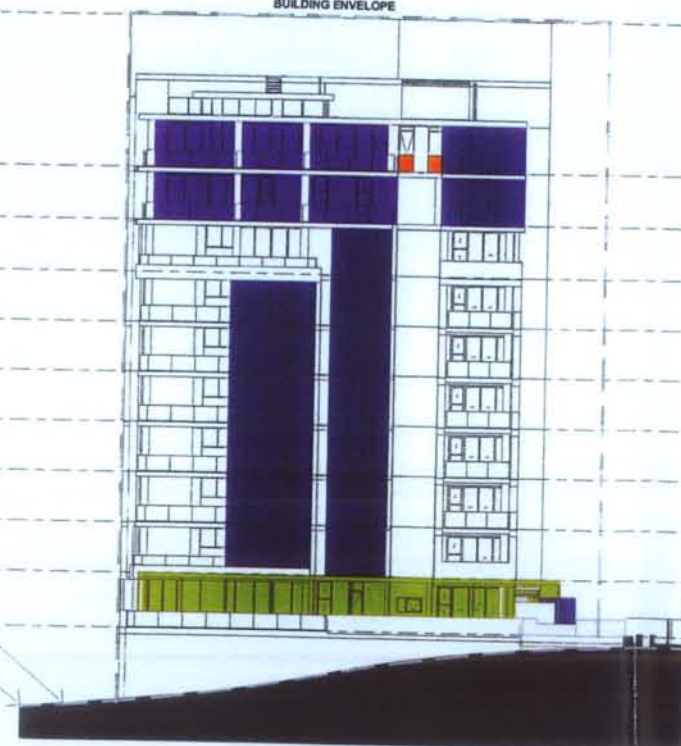
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RL 11700

RL 8400

4 WEST ELEVATION  
Scale 1:200

PROPOSED GROUND LINE  
NATURAL GROUND LINE



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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PROPERTY OWNERS.

REV: 21/03/08 DA RFI ISSUE - (SBA)  
A 21/03/08 AMENDED DA BUILDINGS 31 & 41 - (SBA)  
B 21/03/08 BCC AMENDMENTS TO BUILDING E & F - (SBA)  
C 24/03/08 AS BUILT UPDATE

REV: 21/03/08 DA RFI ISSUE - (SBA)  
A 21/03/08 AMENDED DA BUILDINGS 31 & 41 - (SBA)  
B 21/03/08 BCC AMENDMENTS TO BUILDING E & F - (SBA)  
C 24/03/08 AS BUILT UPDATE

project:

**Tennyson  
Reach**

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architect:  
**MIRVAC  
DESIGN**

architect:  
MIRVAC DESIGN  
1/12 164 Glen Street  
Sydney NSW 1513  
tel: 02 9550 8899  
fax: 02 9550 1500

client:

**mirvac**

file:

DEVELOPMENT APPROVAL  
BALCONY SCREEN ELEVATIONS  
BUILDING E - SHEET 2 OF 2

0 5 10 15 20 m

drawn: J.B.  
approved: L.W.  
job no: 517 date: 03/24/09 scale: A1: As indicated  
bldg no: 51741 drawing no: 41-DA1041 rev D

BCC.067.0895



**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2006  
AS MODIFIED 26 JUN 2009

PRIVACY SCREENING  
SUN CONTROL SCREENING  
OPAQUE GLAZING

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
APPROVAL dated - 9 OCT 2009

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CONSTRUCT ANY BUILT TO BOUNDARY  
OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

RL 45130

RL 36000

RL 32850

RL 29700

RL 26700

RL 23700

RL 20700

RL 17700

RL 14700

RL 11700

RL 8400

1 NORTH ELEVATION  
Scale 1:200



RL 45130

RL 36000

RL 32850

RL 29700

RL 26700

RL 23700

RL 20700

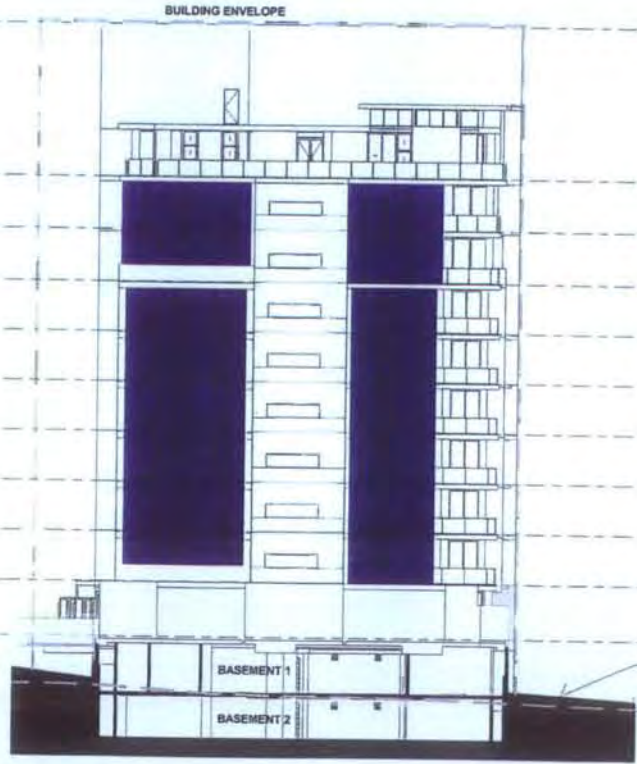
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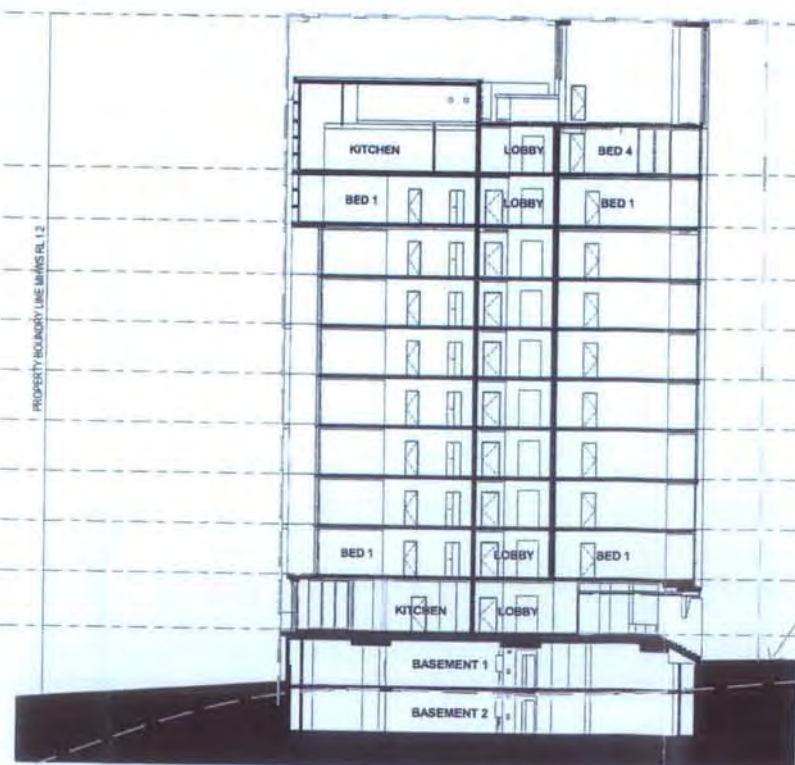
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2 EAST ELEVATION  
Scale 1:200



A SECTION  
Scale 1:200



REV	DATE	AMENDMENT
A	21/03/06	DA-REV ISSUE - (SAS)
B	13/03/07	AMENDED DA BUILDINGS 31 & 41 - (SAS)
C	30/06/07	BCC AMENDMENTS TO BUILDING E & F - (PL)
D	24/09/08	BCC AMENDMENTS TO BUILDING 41 - (PQ)
E	24/09/08	AS BUILT UPDATE

REV	DATE	AMENDMENT

project  
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architect  
**MIRVAC DESIGN**  
interior design  
1/11/11 Mair Street  
South Brisbane, QLD, 4101  
Tel: (07) 3258 1000  
Fax: (07) 3258 1000  
Mirvac Design Pty Ltd  
ABN 79 002 355 102

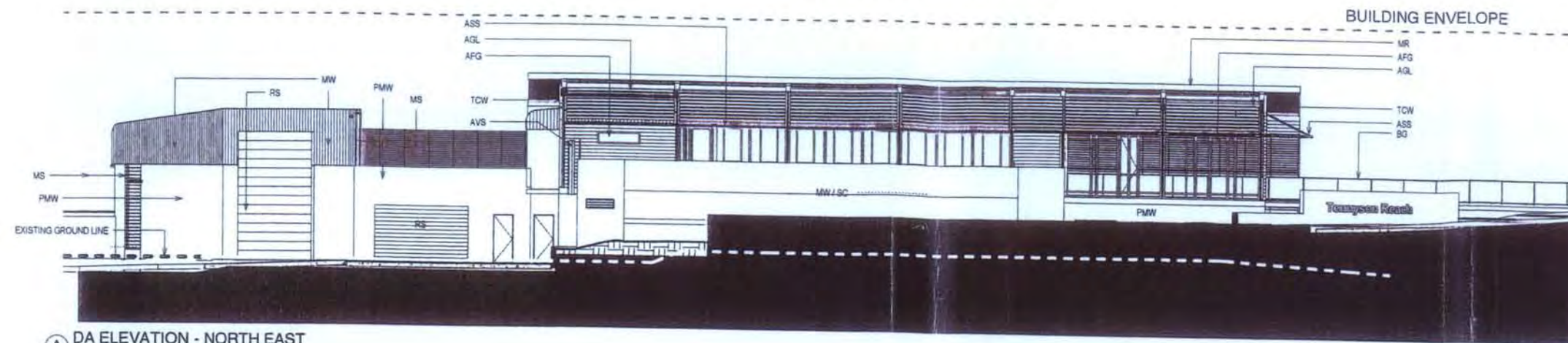


client  
**DEVELOPMENT APPROVAL**  
BALCONY SCREEN ELEVATIONS  
BUILDING E - SHEET 1 OF 2

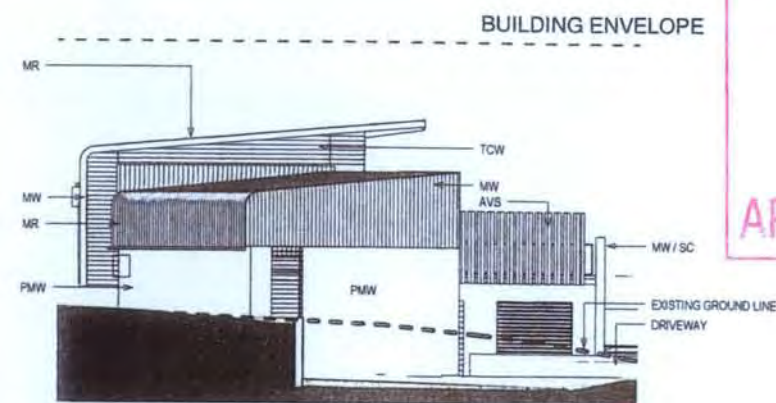
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job no: 517  
date: 03/04/08  
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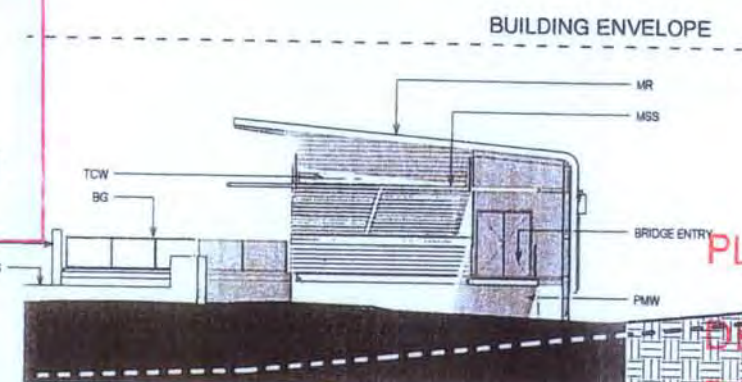
# TENNYSON RIVERSIDE DEVELOPMENT PROPOSAL



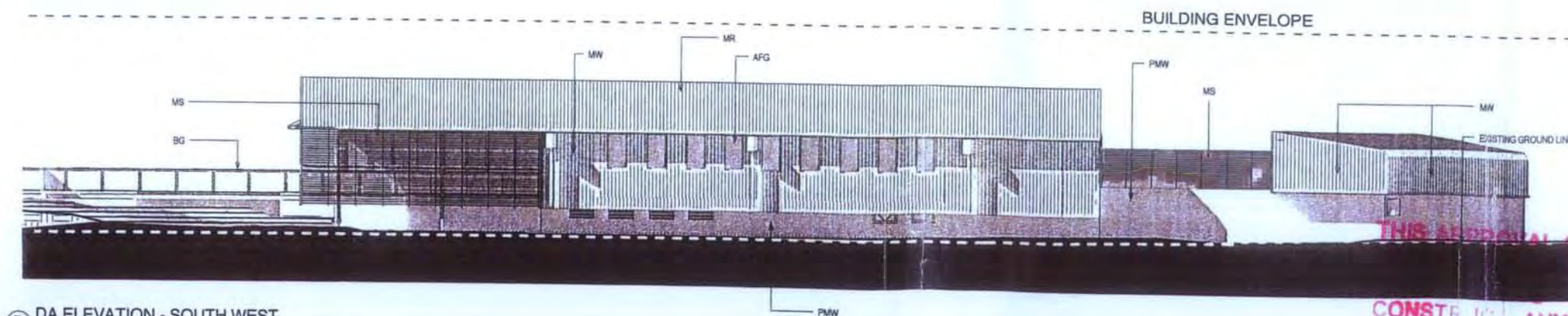
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Scale 1:100



**B DA ELEVATION - SOUTH EAST**  
Scale 1:100



**C DA ELEVATION - NORTH WEST**  
Scale 1:100



**D DA ELEVATION - SOUTH WEST**  
Scale 1:100

LEGEND - ELEVATIONS	
AFG	Aluminium Framed Glazing
AGL	Adjustable Glass Louvers
ASS	Aluminium Sunshade Structure
AVS	Aluminium Vertical Blade Screen
Bal 1	Balustrade Type 1 (Aluminium Handrail & Fixed Glazing)
Bal 2	Balustrade Type 2 (Aluminium Handrail & Fixed Glazing)
CFC	Compressed Fibre Cement
MR	Metal Roof Sheeting
MS	Metal Screening / Ventilation
MW	Metal Wall Sheeting
OVL	Operable Vertical Louvers
PMW	Painted Masonry Wall
RC	Rendered Masonry Wall
RS	Roller Shutter
SC	Stone Cladding
TC	Tiled Concrete Upstand
TOW	Timber Clad Wall
TG	Translucent Glass

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 2.6 JUN 2009

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PERMISSION TO ENTER  
PROPERTIES TO  
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WALLS OR FENCES. PERMISSION MUST  
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PROPERTY OWNERS.

REV	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION
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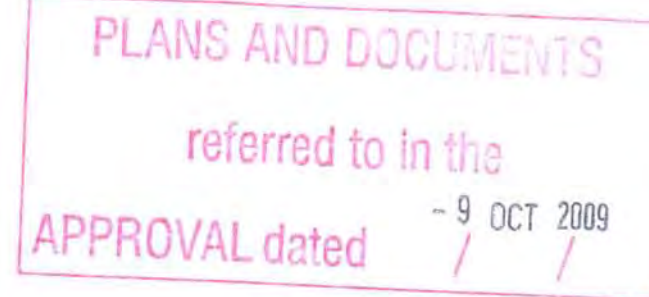
project  
**TENNYSON  
REACH**  
architect  
**Mirvac  
Design**  
planning  
landscape  
interior design

client  
**Mirvac**  
2/3 Hill Street  
Level 10, Sydney  
NSW 1585  
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Email: info@mirvac.com.au

drawn  
approved  
job no: 517  
date: 05/03/07  
scale: @ A1 1:100  
stage no: 01  
drawing no: 01-DA1600-REV G

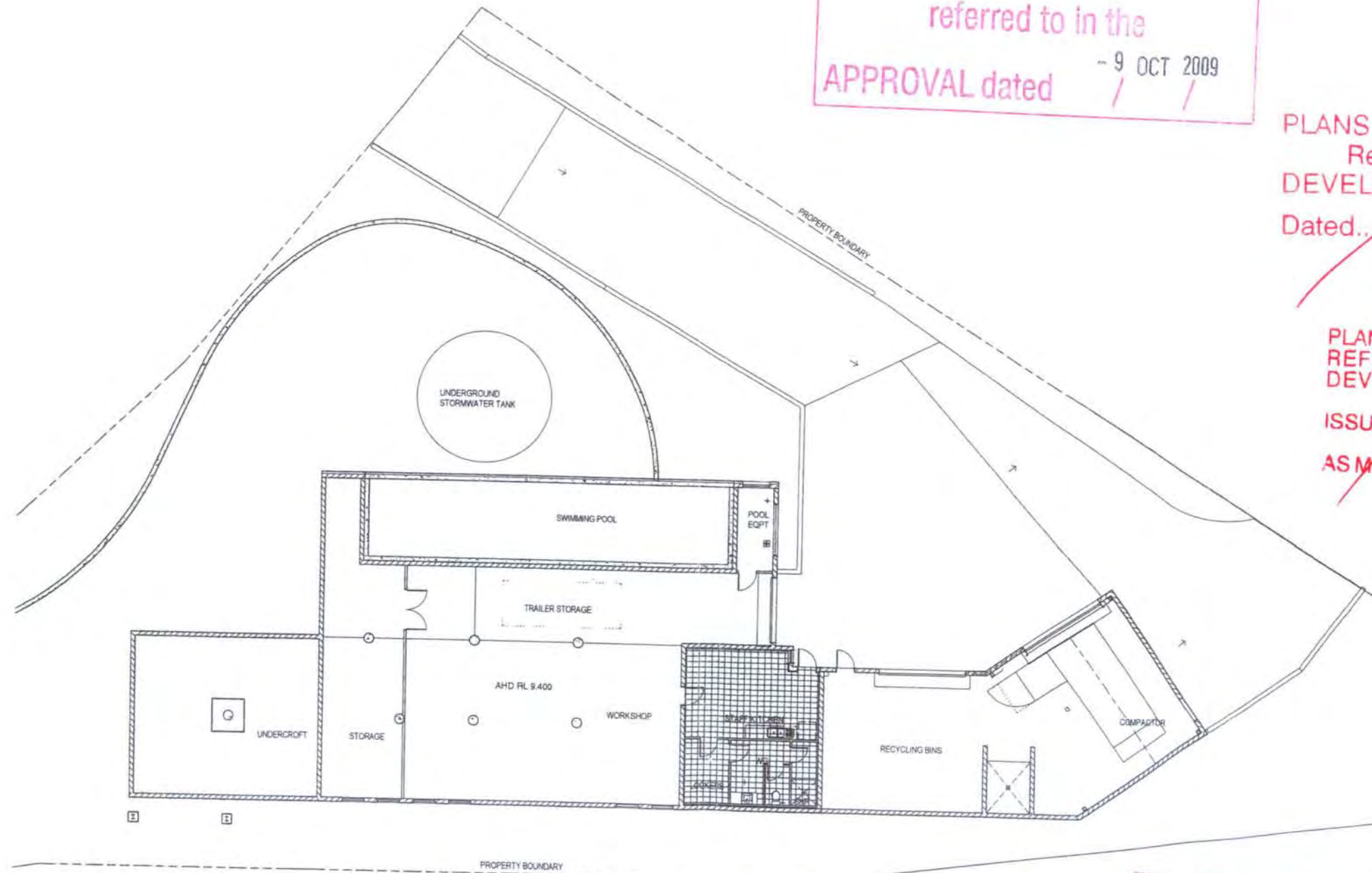
building  
**BUILDING 01  
ELEVATIONS  
GYMNASIUM**





PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated                      - 8 SEP 2008

~~PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009~~



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INSTRUCT BUILT TO BOUNDARY  
FALLS OR ES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

REV	DATE	AMENDMENT
A	06.05.08	DA RESUBMISSION
B	14.05.08	DA RESUBMISSION WITH CHANGING INDICATING PREVIOUS EXTENT
C	21.05.08	DA RESUBMISSION UPDATED

[illegible]

project.

**TENNYSON**  
R E A C H

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architect  
**Mirvac  
Design**  
architects  
planners  
interior design

Unit 2 154 Glen Street  
South Park, C.A., 900  
Tel: (714) 260-0800  
Fax: (714) 270-1000  
Minerals Group, P.O. Box  
10000, J.B. 1000, J.B. 1000

client

mirvac

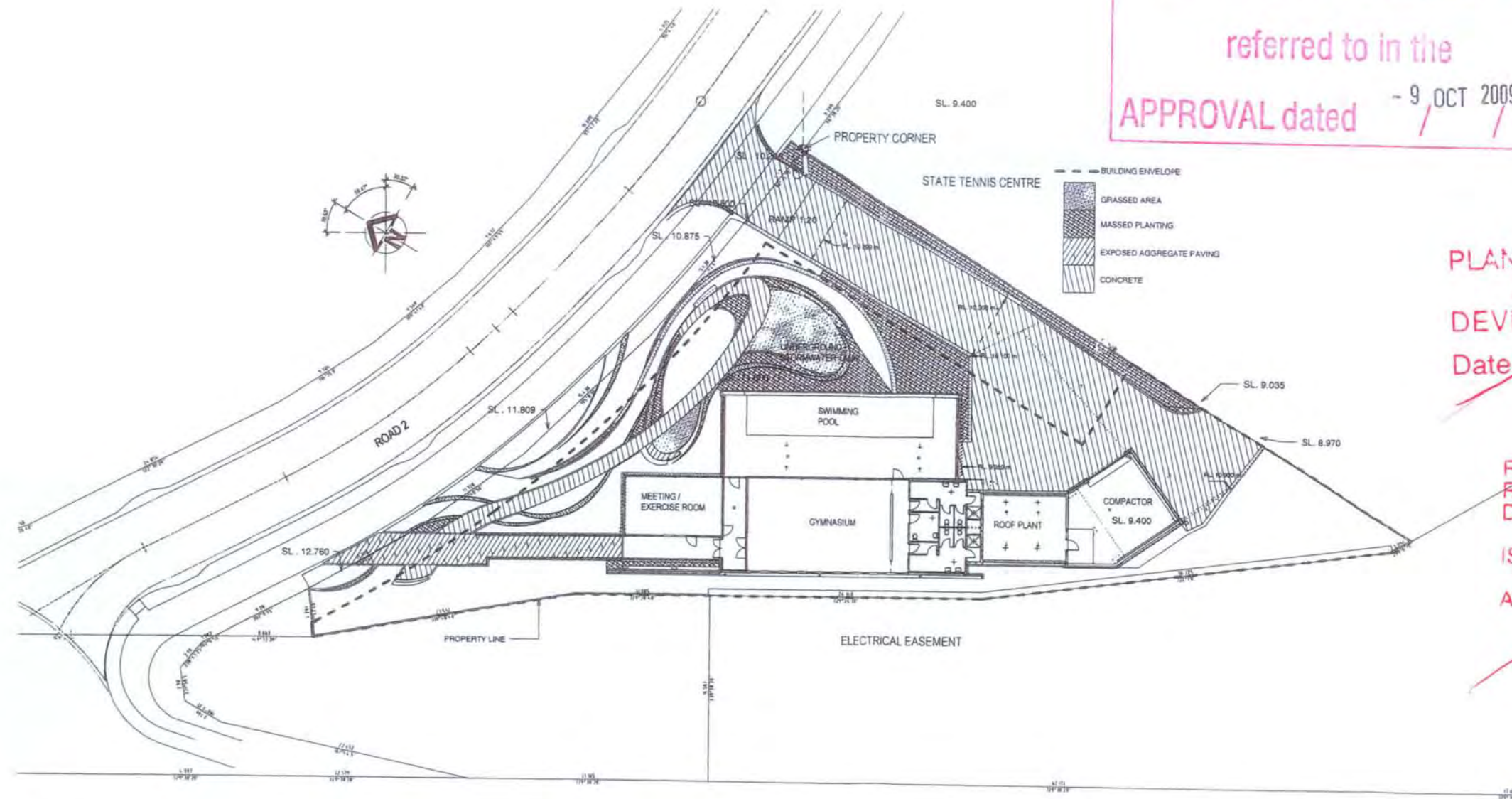
BUILDING 01  
LOWER LEVEL PLAN  
GYMNASIUM / WASTE  
MANAGEMENT

drawn:  
approved:

job no: 517      date: 05/06/08      scale @ A1: 1 : 100

sitg no: 01      drawing no: 01-DA1010<sub>rev</sub> C





PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

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OR FOR ANY OTHER PURPOSES WITHOUT  
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PROPERTY OWNERS.

REV	DATE	REVISIONS
A	26.06.08	ON REVISIONS ON PRELIMINARY DA REVISIONS
B	22.08.08	

REV	DATE	REVISIONS

project  
**TENNYSON REACH**

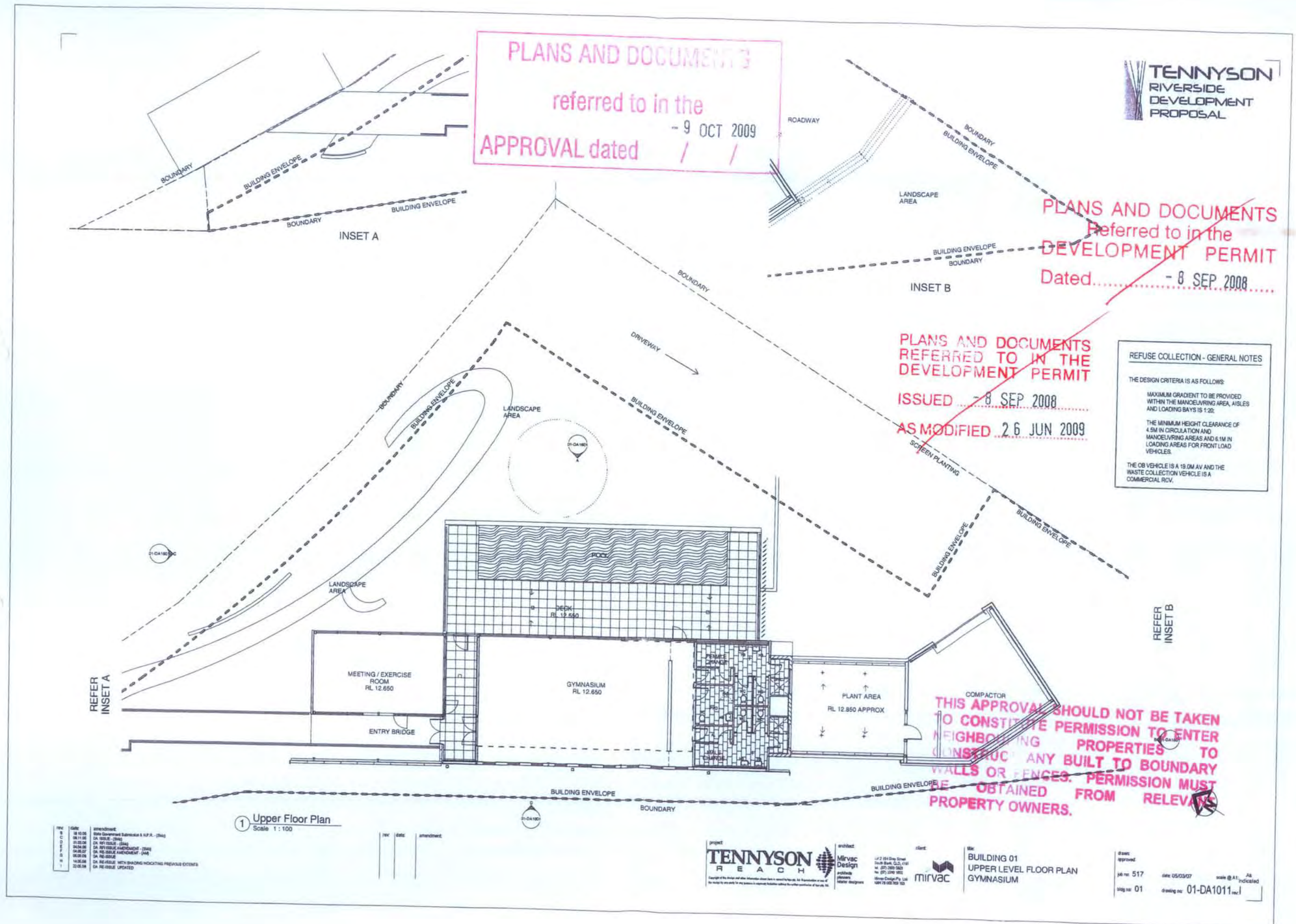
architect  
**Mirvac Design**

client  
**Mirvac**

title  
**BUILDING 01  
SITE PLAN  
WITH LANDSCAPING**

drawn	approved
pk no: 517	date: 05/06/08
pk no: 01	scale: @ A1 1:200
	drawing no: 01-DA1000 rev B









# LEGEND - PLANS

- A - ACCESS ZONE FOR CIRCULATION AND ESCAPE - INTERMEDIATE STEPS ARE NOT REQUIRED IN THIS ZONE
- CB - CONCRETE BEATING
- CRP - CONCRETE BEATING PLATE
- PHGA - PEOPLE WITH DISABILITIES - ACCESS PATH

**AMENDED IN RED**

05 / 10 / 09

PLANS AND DOCUMENTS REFERRED TO IN THE DEVELOPMENT PERMIT

ISSUED.....  
AS MODIFIED..... - 9 OCT 2009

SEE DETAILED DRAWING NO. 05B316 13-S2150  
ISSUE A  
DATED 25/09/09

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drawn 11/11/09  
date AUG 05  
scale A1 1:200 @ A1  
job no. 51711  
drawing no. 11-B00167-085



date 16/10/05  
rev B  
amendment State Government Submission 5 KPA - (SHU)  
DA ISSUE - (SHU)  
REVISED DA - (SHU)

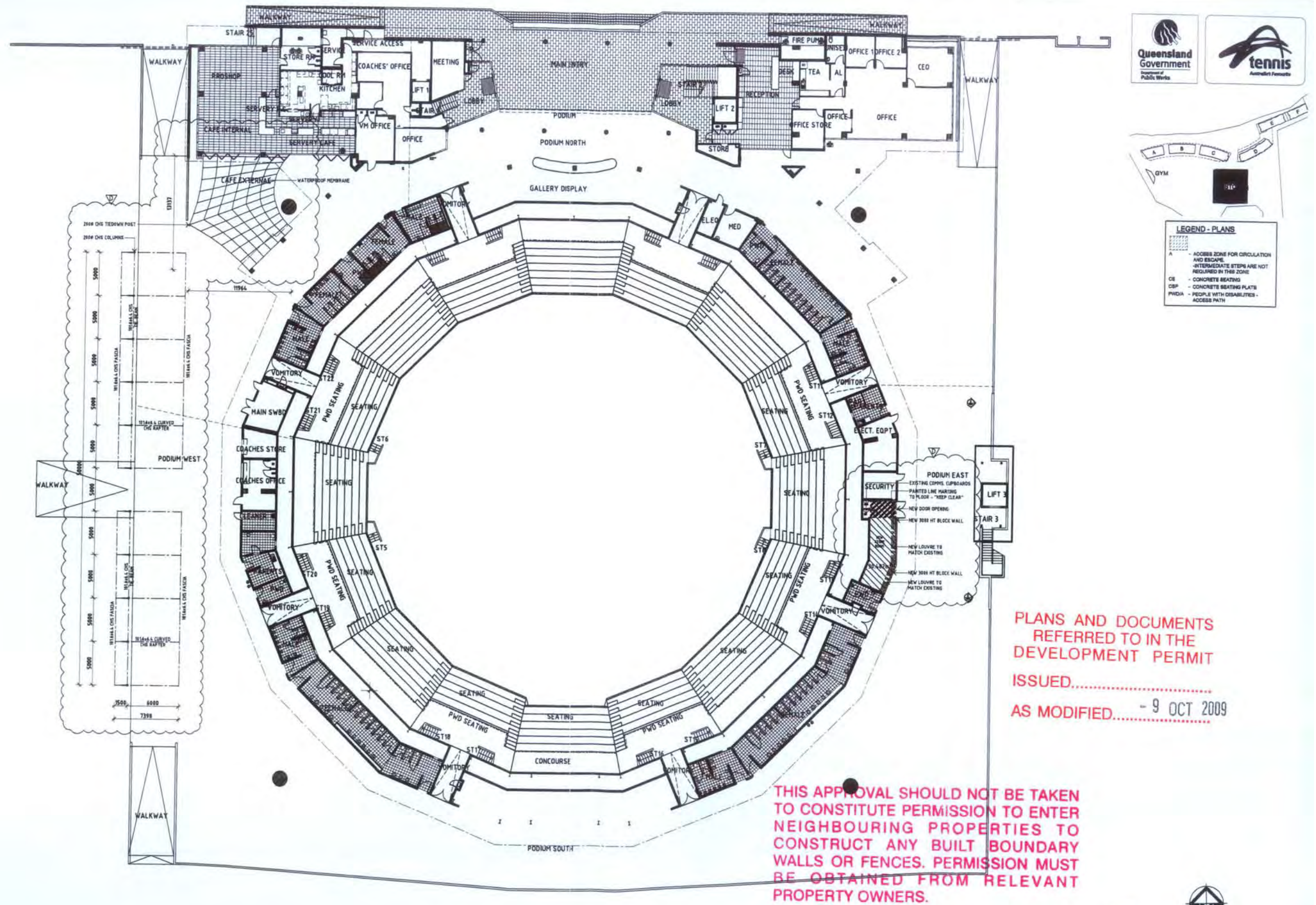
date 16/10/05  
rev B  
amendment

project **queensland State Tennis CENTRE**  
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Web: www.mirvacdesign.com.au

QUEENSLAND TENNIS CENTRE  
GENERAL ARRANGEMENT PLAN  
LEVEL 1





date 10/10/15  
rev 10/10/15  
rev 10/10/15

rev 10/10/15

rev 10/10/15

rev 10/10/15

rev 10/10/15

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rev 10/10/15

project **Queensland State Tennis Centre**

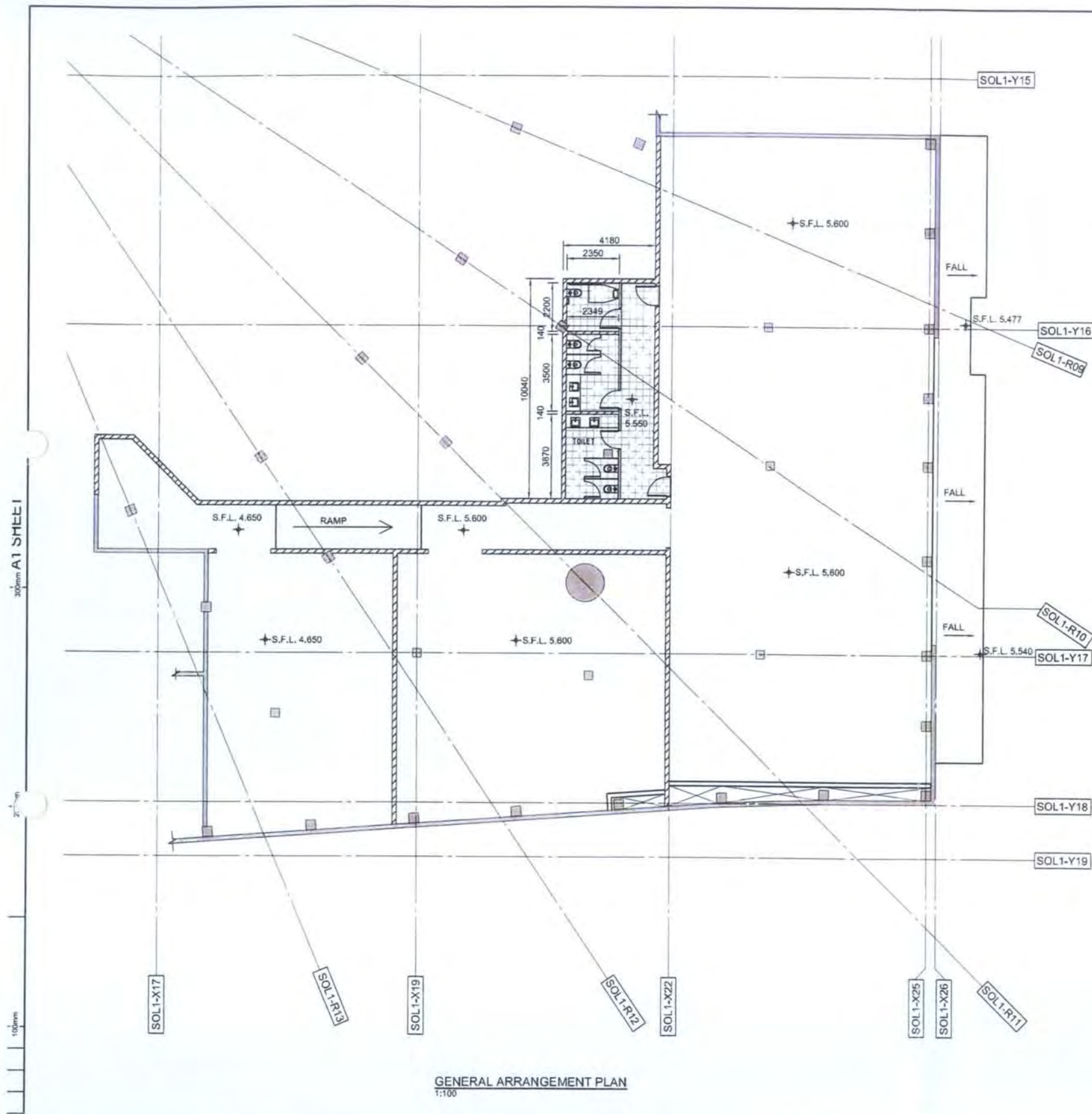
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Fax: (07) 3338 8888  
Email: info@mirvacdesign.com.au  
www.mirvacdesign.com.au

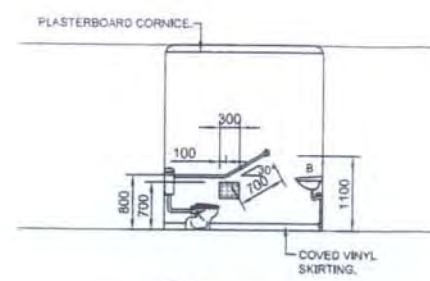
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FLOOR PLAN - LEVEL 2





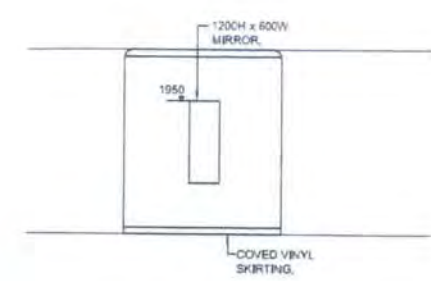


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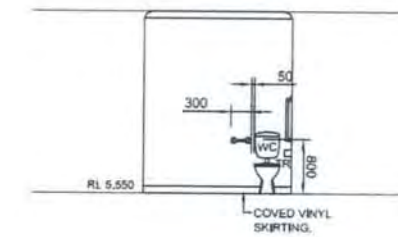


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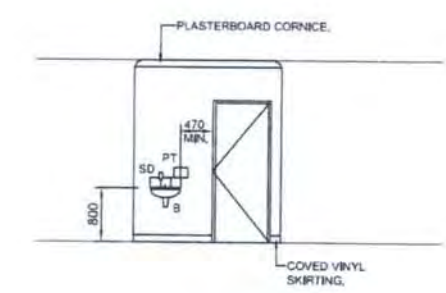
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SCALE 1:50



ELEVATION 3  
SCALE 1:50



ELEVATION 2  
SCALE 1:50



ELEVATION 4  
SCALE 1:50

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<p><b>OPUS</b></p>				<p><b>mirvac</b></p>			
<p>DTA DRAWN AMM PROJECT ENGINEER BTW PROJECT DIRECTOR</p>				<p>AMM DESIGNED DESIGN VERIFICATION September '09 DATE (Copyright)</p>			
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<p>Refer to accompanying construction notes all dimensions against Architectural Consultant's and Sub-Contractor's drawings. Dimensions are not to be scaled or read electronically from this drawing. Detail of revision, unless specifically shown, are to be obtained from the architect or other Consultant's drawings.</p>				<p>North</p>			
<p>A PRELIMINARY ISSUE</p>				<p>25-09-09 DTA</p>			
<p>ISSUE AMENDMENT</p>				<p>DATE INITIALS ISSUE AMENDMENT</p>			

PRELIMINARY NOT FOR CONSTRUCTION

DRAWING TITLE	LEVEL 1 GENERAL ARRANGEMENT PLAN
SCALES	1:100
DRAWING No.	05B316 13-S2150
CLIENT PROJECT No.	517
ISSUE	A



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29 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008

**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN

AMENDED IN RE...

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

BRISBANE RIVER

3m WIDE SHARED PATH

4m WIDE FOOTPATH

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2006

AS MODIFIED - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008

AS MODIFIED - 26 JUN 2009

PLAZA

ENERGEX EASEMENT

ENERGEX EASEMENT

mirvac

DATE	REV	DESCRIPTION
10/10/07	A	10/10/07 Subdivision & RFL - (DN)
10/10/07	B	10/10/07 TO BUILDING DEVELOPER - (DN)
10/10/07	C	10/10/07 - (DN)
10/10/07	D	10/10/07 IDENTIFICATION
10/10/07	E	10/10/07 DA BUILDING IN A-1 - (DN)
10/10/07	F	10/10/07 LANDSCAPE UPDATE - (DN)

Tennyson  
Reach

Mirvac  
Design

Unit 2, 104 Grey Street  
South Bank, QLD, 4101  
Tel: (07) 3399 0000  
Fax: (07) 3399 1000  
www.mirvac.com.au

DEVELOPMENT APPROVAL  
BUILDING F SITE PLAN  
SCALE: 1:500 @ A1

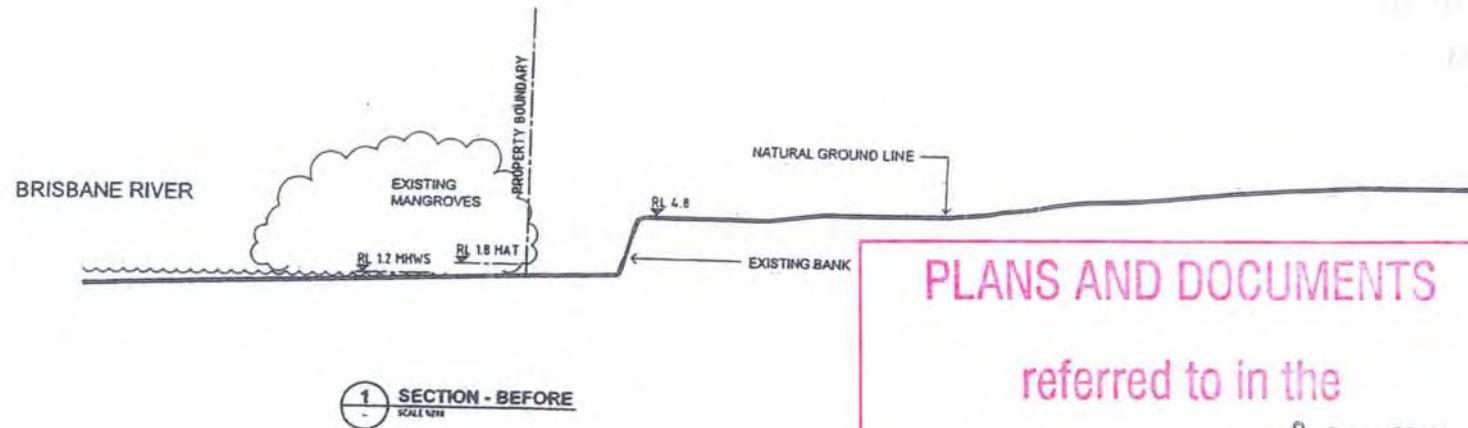
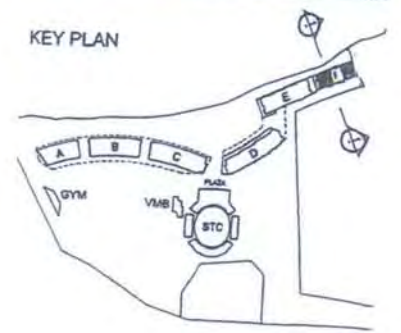
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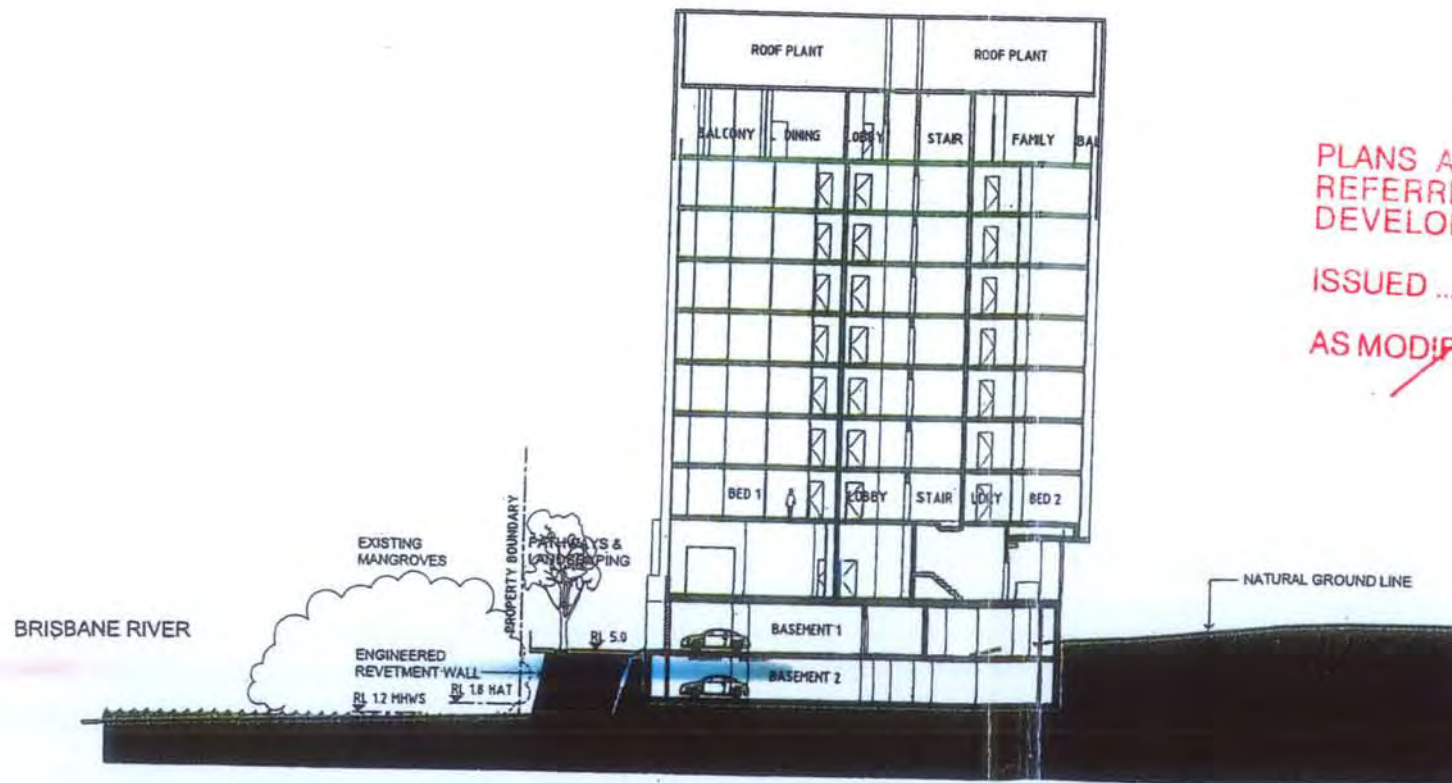




KEY PLAN



1 SECTION - BEFORE  
SCALE 1:200



1 SECTION - AFTER  
SCALE 1:200

~~PLANS AND DOCUMENTS  
referred to in the  
- 6 DEC 2007~~

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19 SEP 2006

~~PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008~~



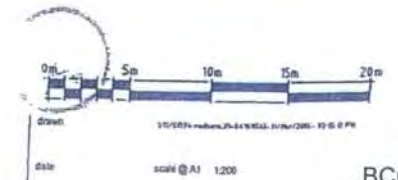
date	rev	amendment
20/09/04	A	DA BY BDC - COND

date	rev	amendment



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South Brisbane  
QLD 4101 Australia  
Tel: (07) 3833 5800  
Fax: (07) 3833 5801  
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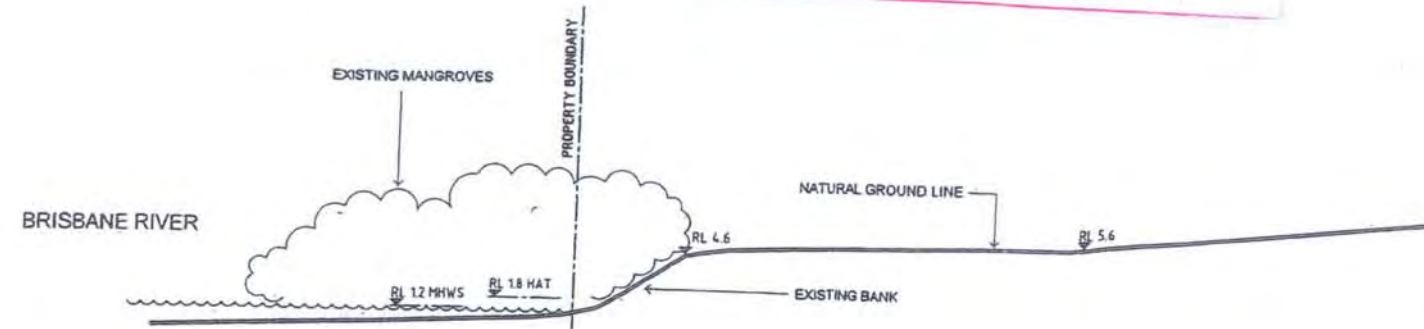
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SECTION 1 - BEFORE & AFTER  
R111 D1112 C



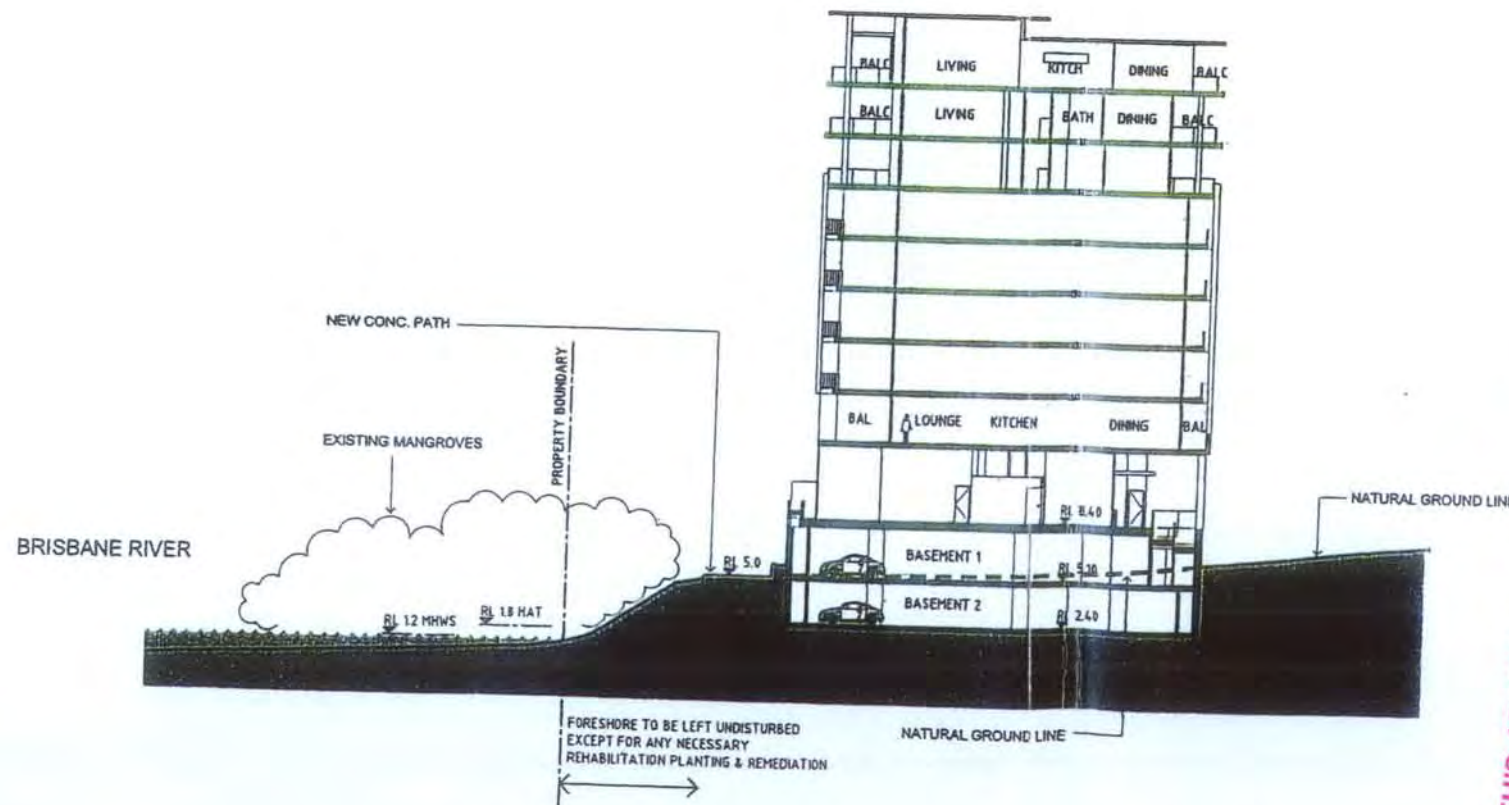
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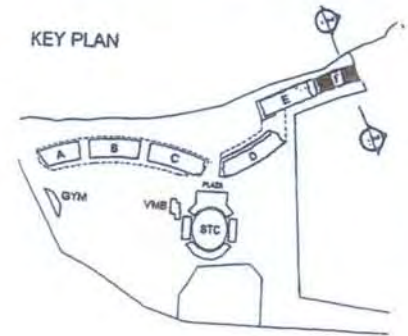
PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009



1 SECTION - BEFORE  
SCALE 1:200



2 SECTION - AFTER  
SCALE 1:200



PLANS AND DOCUMENTS

referred to in the

- 6 DEC 2007

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

19 SEP 2006

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

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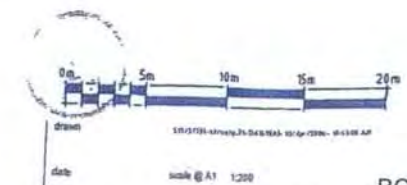
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11/11/04	1	AS 1755:2004 - (P)

date	rev	amendment



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QLD 4101 Australia  
Tel: (07) 3596 1000  
Fax: (07) 3596 1000  
info@hpa.com.au

DEVELOPMENT APPROVAL  
SECTION 2 - BEFORE & AFTER  
BUILDING F



BCC.067.0891



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

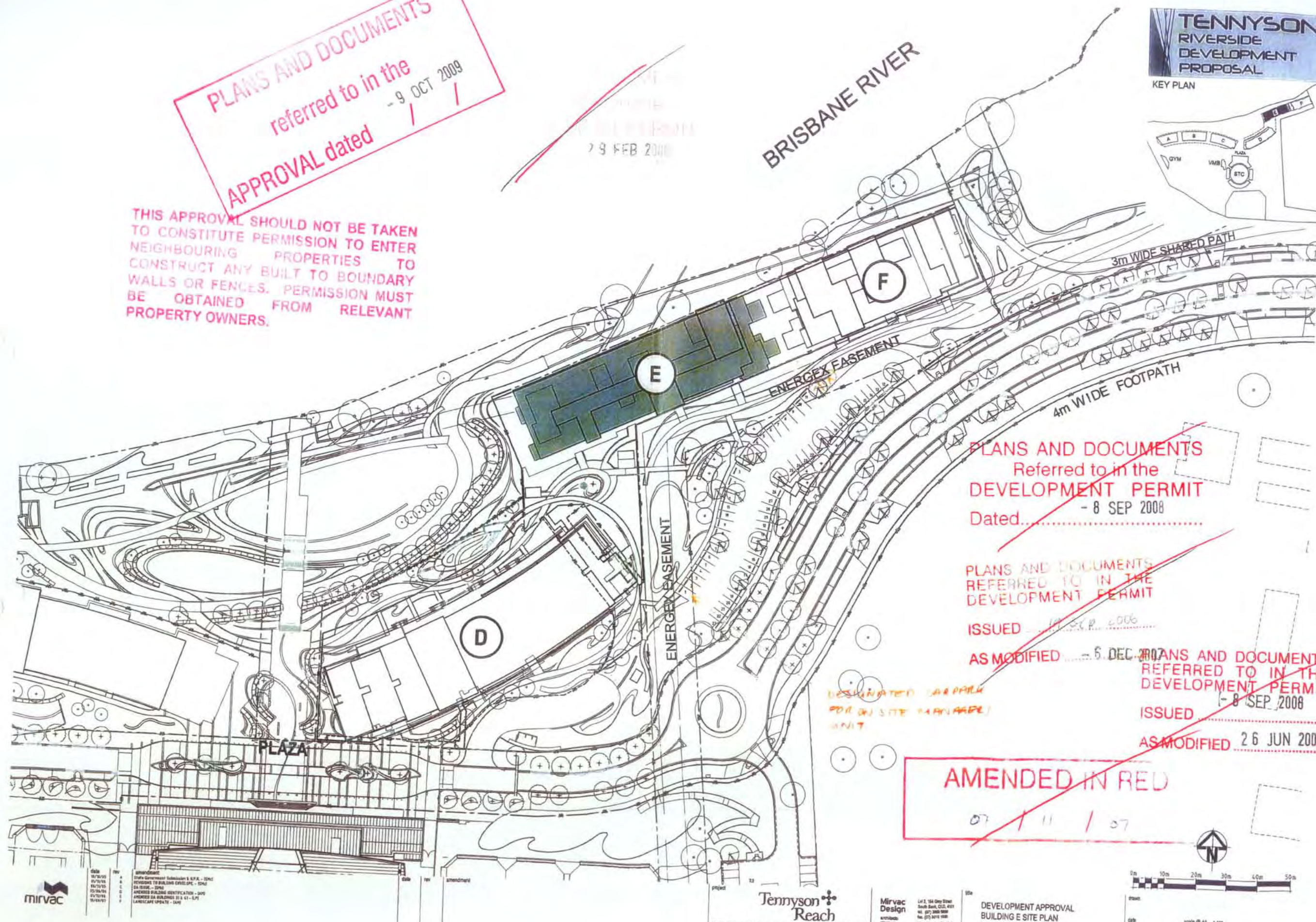
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29 FEB 2008

BRISBANE RIVER

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED... 19 SEP 2006

AS MODIFIED... 5 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED... - 8 SEP 2008

AS MODIFIED... 26 JUN 2009

AMENDED IN RED

07 / 11 / 07



0m 10m 20m 30m 40m 50m

scale @ A1 1:500

job no. 51700 drawing no. 41-DA0001

BCC.067.0949

mirvac

amendment  
State Government Submission & RPA - 2007  
REVISIONS TO BUILDING DEVELOPMENT - 2007  
RPA ISSUE - 2007  
AMENDED BUILDING IDENTIFICATION - 2007  
AMENDED BUILDING 01 & 02 - 2007  
LANDSCAPE UPDATE - 2007

Tennyson  
Reach

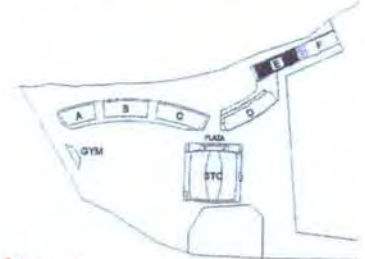
Mirvac  
Design

Lot 2, 154 Grey Street  
South Bank, QLD, 4101  
Tel: (07) 3366 8888  
Fax: (07) 3370 1888  
Mirvac Design Pty. Ltd.  
ABN 13 000 500 100

DEVELOPMENT APPROVAL  
BUILDING E SITE PLAN  
SCALE: 1:500 @ A1

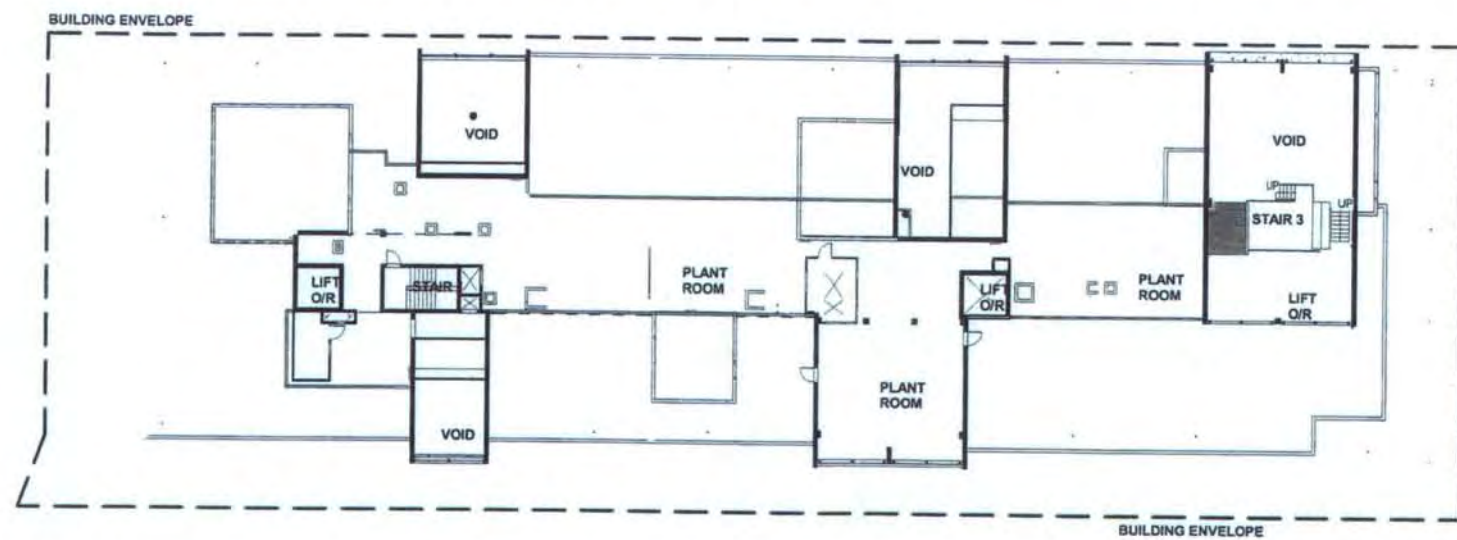


**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

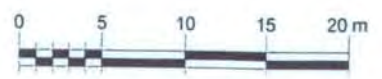


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referred to in the  
APPROVAL dated - 9 OCT 2009 / /

~~PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009~~



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REV	DATE	AMENDMENT
A	18/08/05	State Government Submission & N.P.R. (S&G)
B	20/11/05	DA ISSUE - (S&G)
C	21/03/06	AMENDED DA BALANCE 31 & 41 - (S&G)
D	23/03/06	AS BUILT UPDATE CH

REV	DATE	AMENDMENT

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South West QLD 4570  
Ph (07) 5555 5555  
Fax (07) 5555 5555  
Mirvac Design Pty Ltd  
(1991) 73 323 338 132

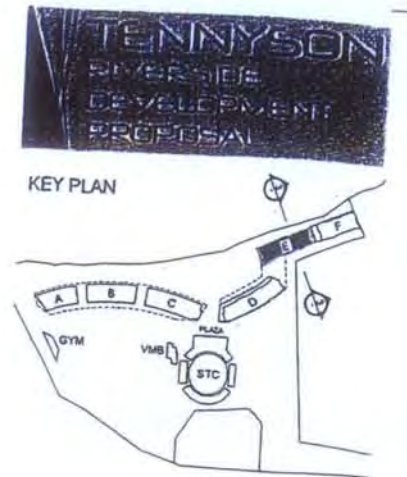
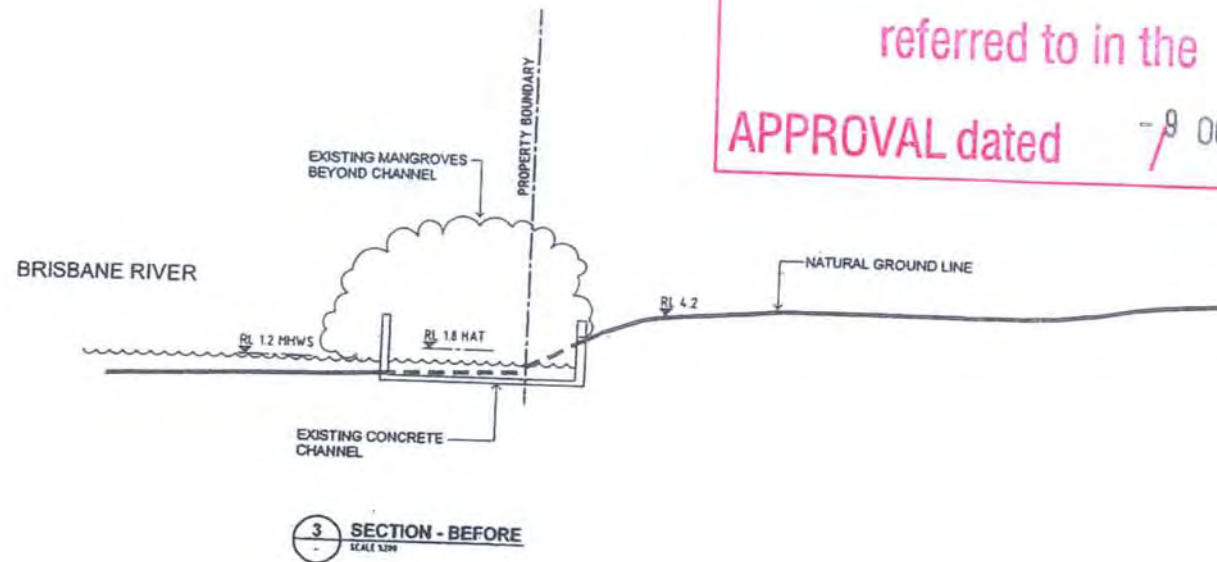
client  
**mirvac**

title  
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING E - ROOF PLAN

drawn: -  
approved: -  
job no: 517 date: 11/28/06 scale @ A1: 1:200  
tdg no: 51741 drawing no: 41-DA1025-rev.D



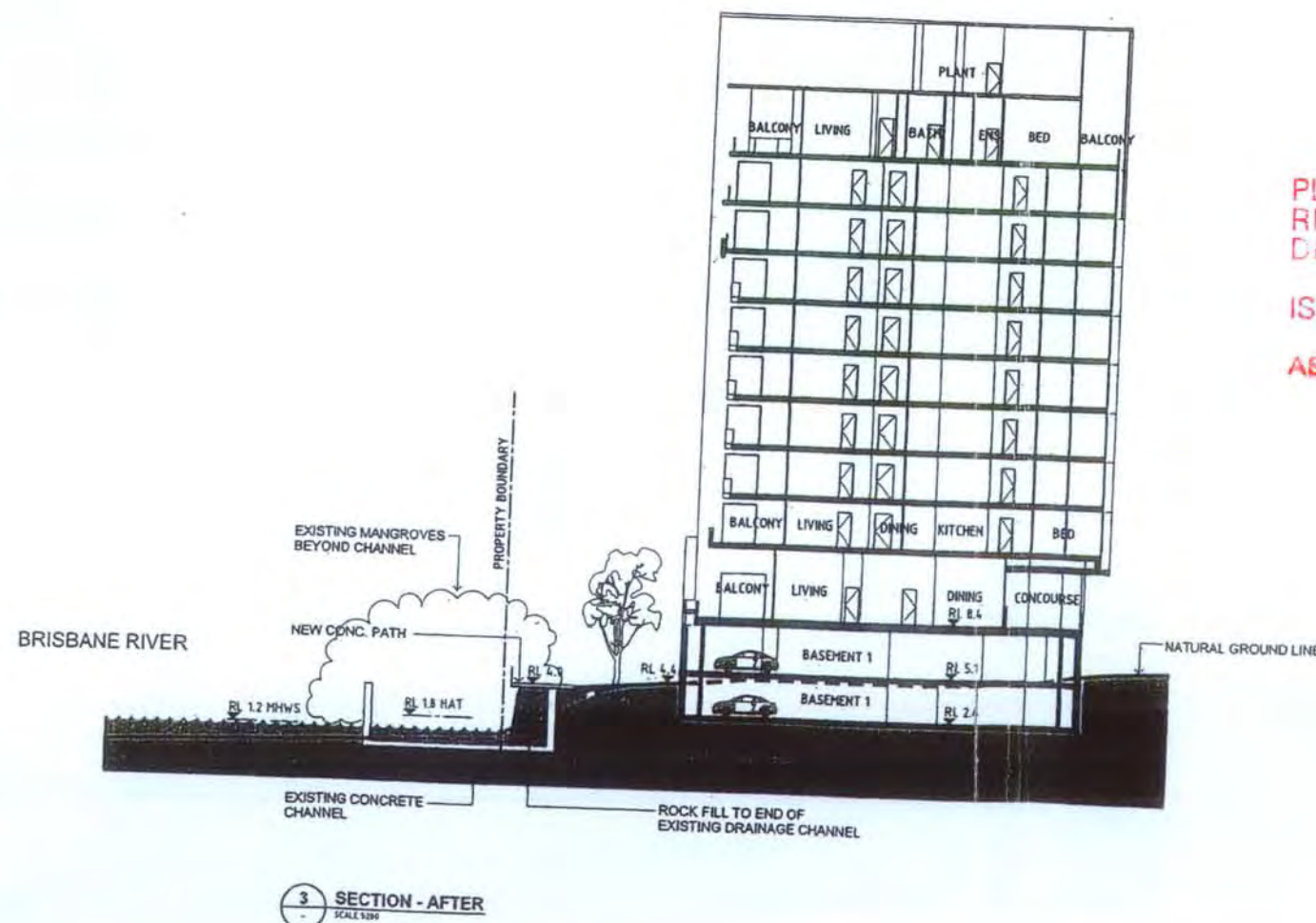
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APPROVAL dated - 9 OCT 2009



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PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
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Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008



19 SEP 2006

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date	rev	amendment
30/03/04	REV A	ON SITE WORK - DND

date	rev	amendment

project  
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hpa Pty Ltd  
ABN 79 003 338 103

DEVELOPMENT APPROVAL  
SECTION 3 - BEFORE & AFTER  
BUILDING E



date 19/09/06 scale @ A1 1:200  
job no. 51700 drawing no. 41-DA1610 A BCC.067.0890



GFA BUILDINGS D,E,F (207 units & Gym) 11,904 m<sup>2</sup>  
 GFA BUILDINGS A,B,C (186 units) 46,493  
 GFA TOTAL: 43,905 sq.m.  
 PLOT RATIO: 90,398 sq.m.  
 DENSITY: 0.76:1  
 33.0 du/Ha

AMENDED IN RED

07 / 1 / 07

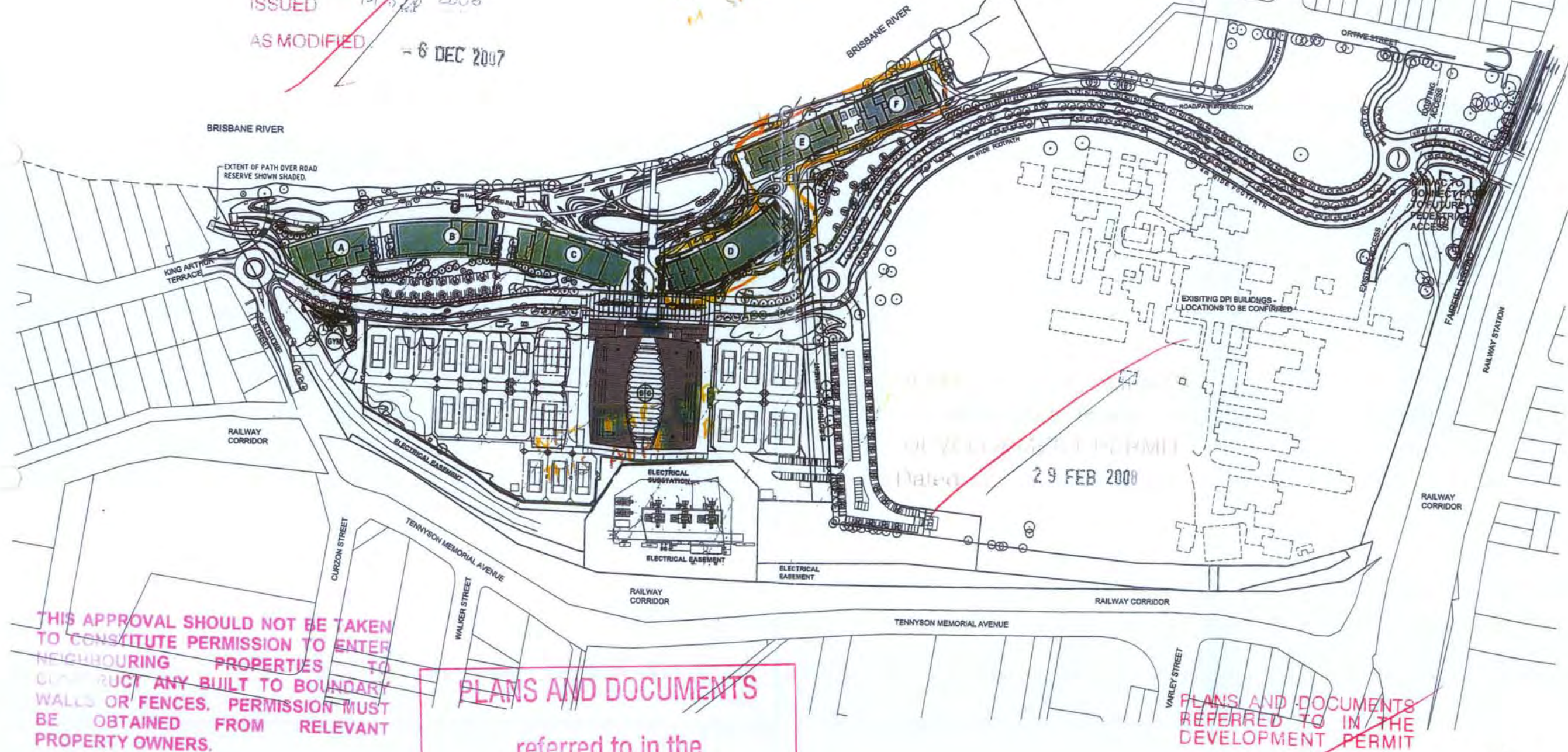
PLANS AND DOCUMENTS  
 Referred to in the  
 DEVELOPMENT PERMIT  
 Dated 8 SEP 2008

TENNYSON  
 RIVERSIDE  
 DEVELOPMENT  
 PROPOSAL

PLANS AND DOCUMENTS  
 REFERRED TO IN THE  
 DEVELOPMENT PERMIT

ISSUED 19 SEP 2006  
 AS MODIFIED 6 DEC 2007

THIS MODIFIED  
 IN SP RP DA REV 7



THIS APPROVAL SHOULD NOT BE TAKEN  
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 NEIGHBOURING PROPERTIES TO  
 CONSTRUCT ANY BUILT TO BOUNDARY  
 WALLS OR FENCES. PERMISSION MUST  
 BE OBTAINED FROM RELEVANT  
 PROPERTY OWNERS.

PLANS AND DOCUMENTS  
 referred to in the

APPROVAL dated 9 OCT 2009

PLANS AND DOCUMENTS  
 REFERRED TO IN THE  
 DEVELOPMENT PERMIT

ISSUED 8 SEP 2008  
 AS MODIFIED 26 JUN 2009



date	rev	amendment
15/10/05	A	State Government Submission & RP. - 100%
16/10/05	B	DA ISSUE - 100%
21/03/06	C	DA REVISED - 100%
15/10/06	D	AMENDED BUILDING IDENTIFICATION - 100%
21/10/06	E	AMENDED DA BUILDING 21 & 22 - 100%
26/11/07	F	AMENDED DA BUILDING 21 - 100%
19/01/07	G	AMENDED DA BUILDING 21 - 100%
12/01/07	H	AMENDED DA APPLICATION FOR BUILDING 21 - 100%
28/01/07	I	BUILDING 21 AMENDED DA APPLICATION - 100%

project  
**Queensland  
 State Tennis  
 CENTRE**

Mirvac  
 Design

Unit 2, 104 Grey Street  
 South Brisbane, QLD, 4101  
 Tel: (07) 3500 9000  
 Fax: (07) 3500 9000  
 Mirvac Design Pty Ltd  
 ABN 78 002 300 100

DEVELOPMENT APPROVAL  
 MASTER PLAN  
 SCALE: 1:1500 @ A1

date NOV 05  
 job no. 51700

scale @ A1 1:1500

drawings no. 00-DA0001



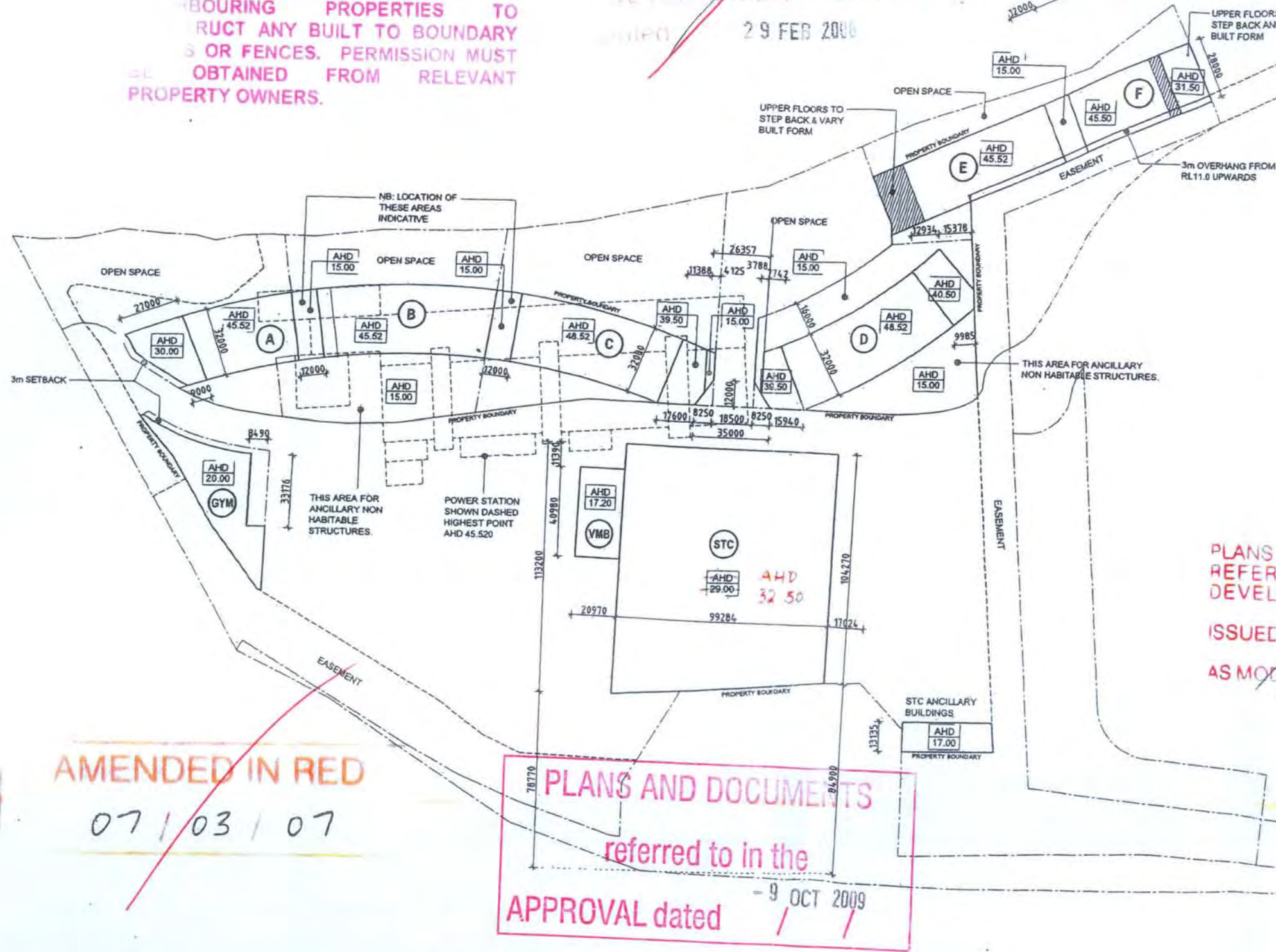




PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008

THIS APPROVAL SHOULD NOT BE TAKEN  
TO CONSTITUTE PERMISSION TO ENTER  
ADJACENT PROPERTIES TO  
CONSTRUCT ANY BUILT TO BOUNDARY  
OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

29 FEB 2008



PLANS AND DOCUMENTS  
referred to in the  
DEVELOPMENT PERMIT  
Dated... - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 19 SEP 2006  
AS MODIFIED - 8 MAR 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

AMENDED IN RED  
07 / 03 / 07

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009



DATE	REV	DESCRIPTION
12/10/05	A	Initial Design
12/10/05	B	Revised Design
12/10/05	C	Final Design

DATE	REV	DESCRIPTION
12/10/05	A	Initial Design
12/10/05	B	Revised Design
12/10/05	C	Final Design

Queensland  
State Tennis  
CENTRE

hpa

100 Grey Street  
South Brisbane  
Q4 2000 Australia  
Tel: (07) 3400 0000  
Fax: (07) 3400 0001

DEVELOPMENT APPROVAL  
BUILDING ENVELOPE PLAN  
SCALE: 1:1000 R.A.1

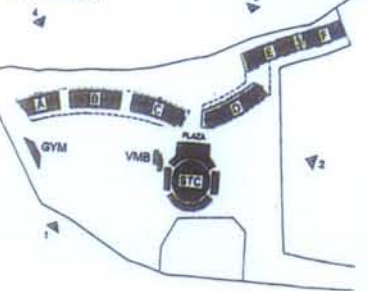
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Scale: @ A1 1:1000

BCC.067.0925





### KEY PLAN

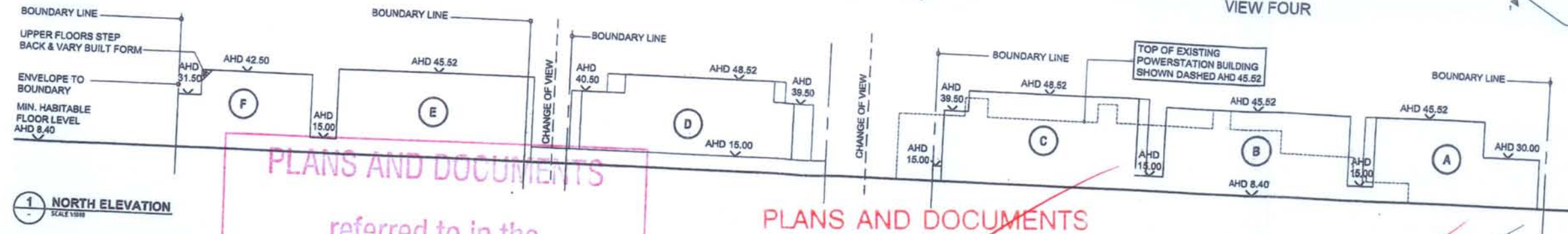


VIEW ONE

VIEW TWO

VIEW THREE

VIEW FOUR



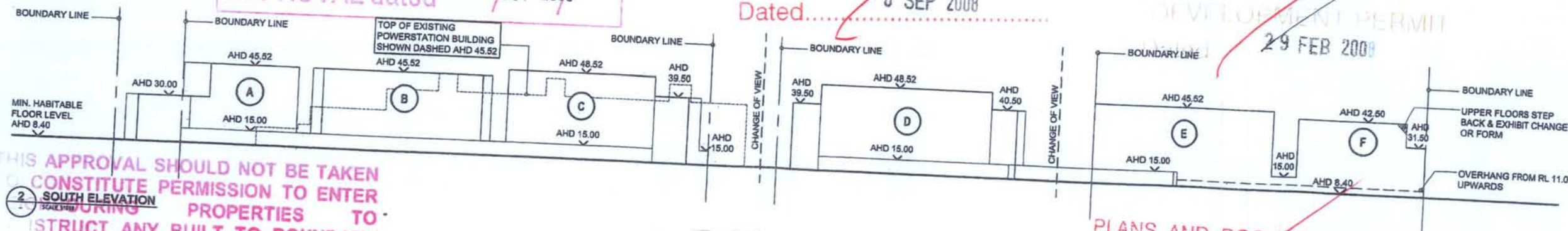
1 NORTH ELEVATION  
SCALE 1/1000

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated. 8 SEP 2008

PLANS and DOCUMENTS  
Related to the  
DEVELOPMENT PERMIT

29 FEB 200



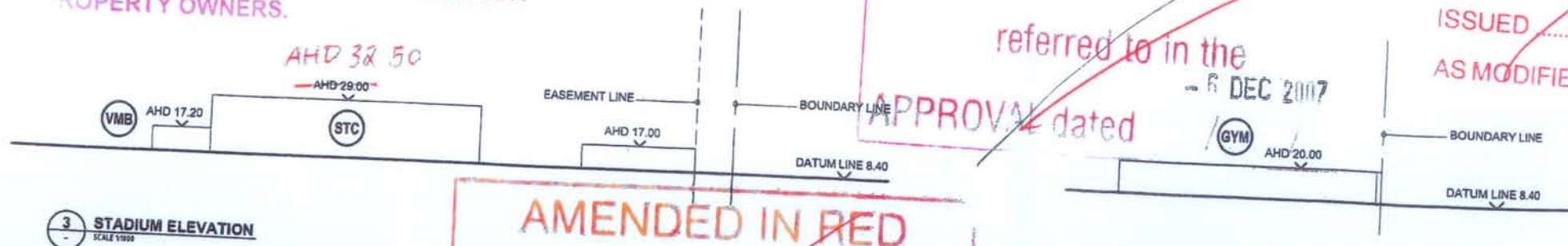
2 SOUTH ELEVATION

THIS APPROVAL SHOULD NOT BE TAKEN  
TO CONSTITUTE PERMISSION TO ENTER  
2. SOUTH ELEVATION  
PROPERTY TO  
INSTRUCT ANY BUILT TO BOUNDARY  
WALLS OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

PLANS AND DOCUMENTS  
referred to in the  
- 6 DEC 2007  
PROVAL dated (GYM)

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED ~ 8 SEP 2008  
AS MODIFIED 26 JUN 2009

DUE TO CURVED PLAN  
ELEVATIONS ARE  
INDICATIVE ONLY



3 STADIUM ELEVATION  
- SCALE 1/1000

AMENDED IN RED

07 / 03 / 07

4 GYM ELEVATION  
SCALE 1/8" = 1'-0"

~~PLANS AND DOCUMENTS~~  
Referred to in the  
~~DEVELOPMENT PERMIT~~  
Dated 19 SEP 2006  
and Modified 14 JUL 2007

date	rev	amendment
18/10/85	A	State Government Submission & N.P.R. - (SMD)
01/11/85	B	REVISIONS TO BUILDING ENVELOPE. - (SMD)
04/12/85	C	SA ISSUE. - (SMD)
04/03/86	D	SA RP ISSUE. - (SMD)
05/06/86	E	AMENDED BUILDING IDENTIFICATION - (SMD)
07/07/86	F	BUILDING 31 AMENDMENTS - (SMD)
07/12/86	G	AMENDED BA BUILDING 31 & 41 - (SMD)

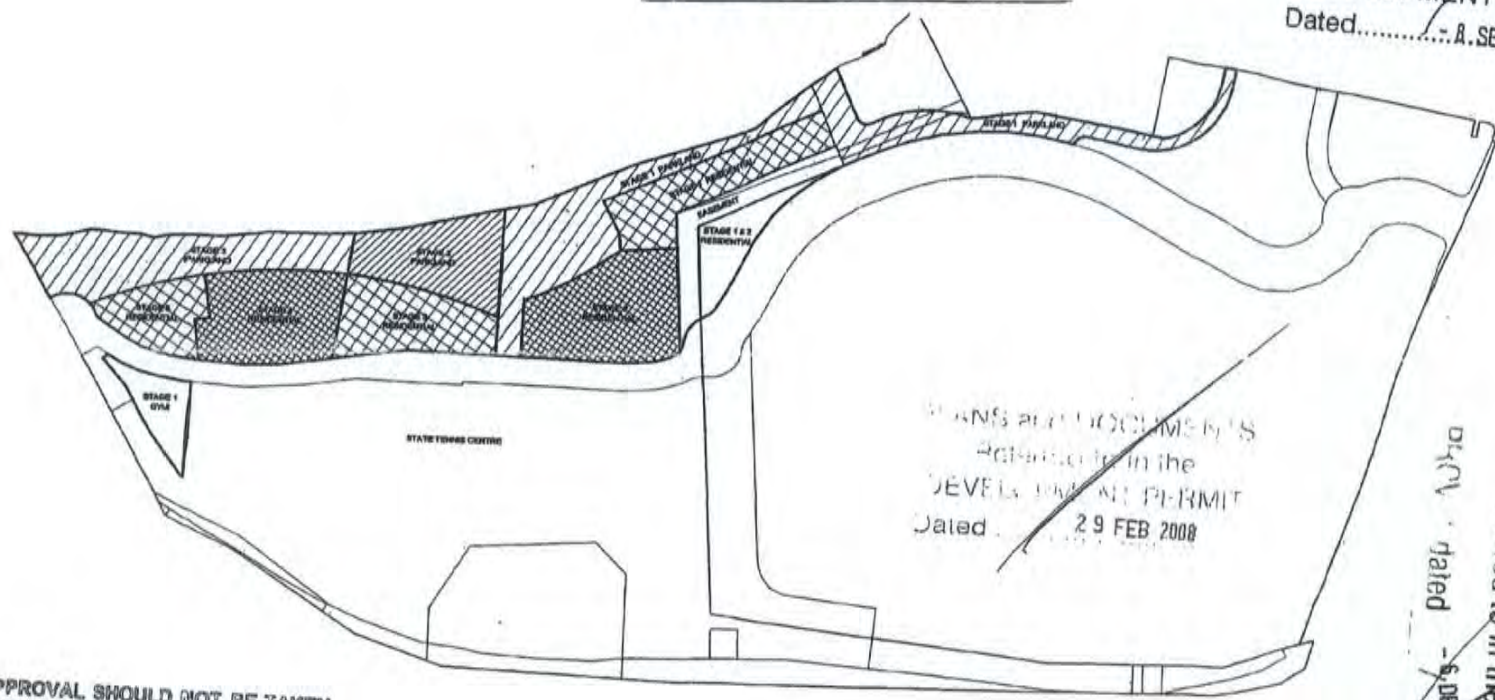
Date	rev	amendments
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PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated / /

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... 8 SEP. 2008.....



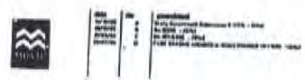
PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... 29 FEB 2008.....

PLANS AND DOCUMENTS  
referred to in the  
DEVELOPMENT PERMIT  
Dated..... 8 SEP. 2008.....

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PROPERTY OWNERS.

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED..... 8 SEP 2008.....  
AS MODIFIED..... 26 JUN 2009.....



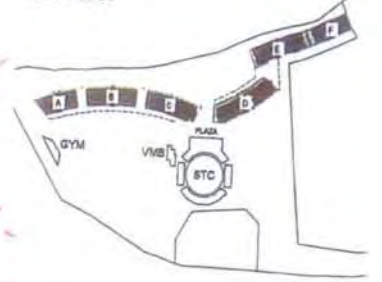
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STAGING PLAN  
SCALE: 1:1500 @ A1



00-0A0004 - D



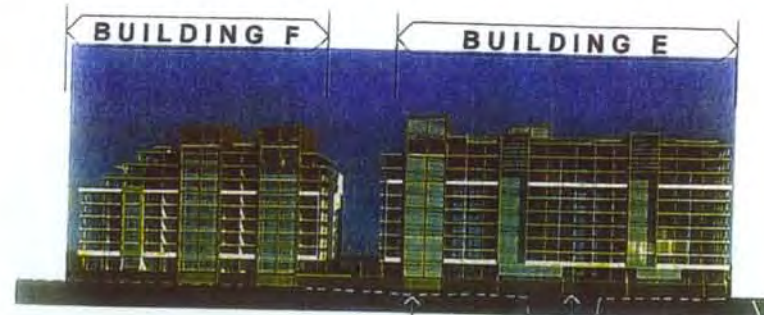
**TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL**  
KEY PLAN



0 ELEVATION FROM RIVER  
SCALE 1:100

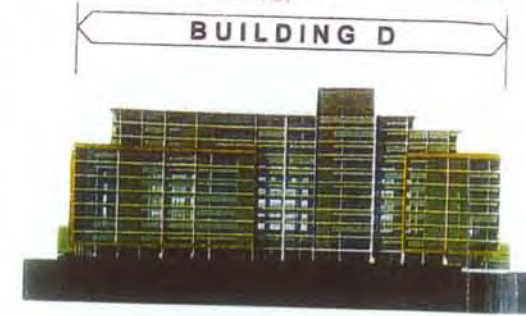
THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO BUILD ANY BUILT TO BOUNDARY. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 8 SEP 2008

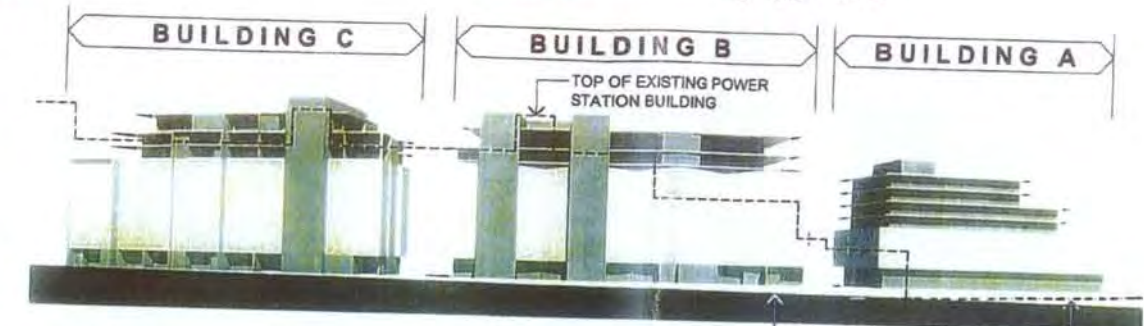


1 ELEVATION FROM RIVER  
BUILDINGS E-F  
SCALE 1:100

NATURAL GROUND LINE  
PROPOSED GROUND LINE



2 ELEVATION FROM RIVER  
BUILDING D  
SCALE 1:100

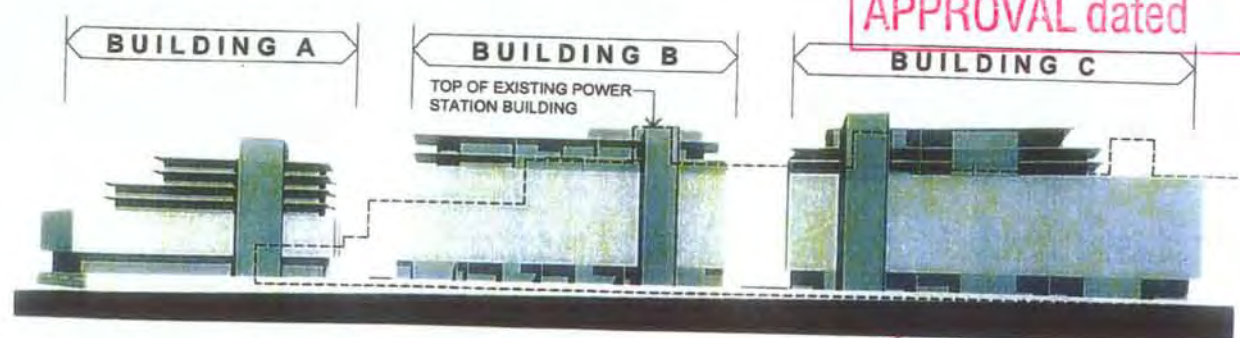


3 ELEVATION FROM RIVER  
BUILDINGS A-C  
SCALE 1:100

PROPOSED GROUND LINE  
NATURAL GROUND LINE

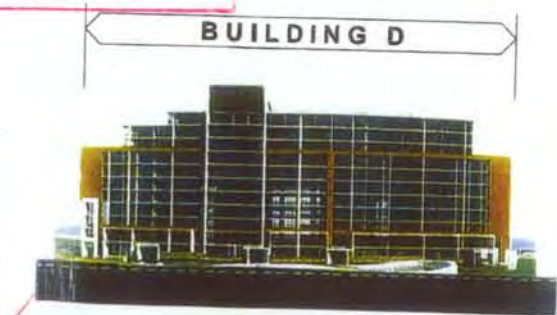
PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 9 OCT 2009

29 FEB 2008



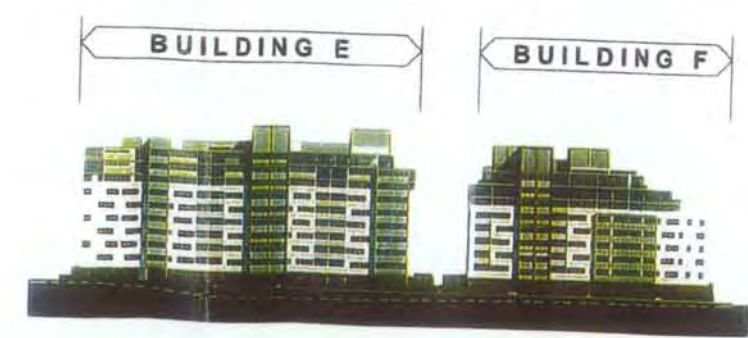
4 ELEVATION FROM TENNIS CENTRE  
BUILDINGS A-C  
SCALE 1:100

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 6 DEC 2007



5 ELEVATION FROM TENNIS CENTRE  
BUILDING D  
SCALE 1:100

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 19 SEP 2006  
AS MODIFIED 6 DEC 2007



6 ELEVATION FROM TENNIS CENTRE  
BUILDINGS E-F  
SCALE 1:100

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009



REV	DATE	DESCRIPTION
1	19/09/06	ISSUED FOR PERMIT
2	06/12/07	AS MODIFIED
3	08/09/08	AS MODIFIED
4	26/06/09	AS MODIFIED

REV	DATE	DESCRIPTION
1	19/09/06	ISSUED FOR PERMIT
2	06/12/07	AS MODIFIED
3	08/09/08	AS MODIFIED
4	26/06/09	AS MODIFIED

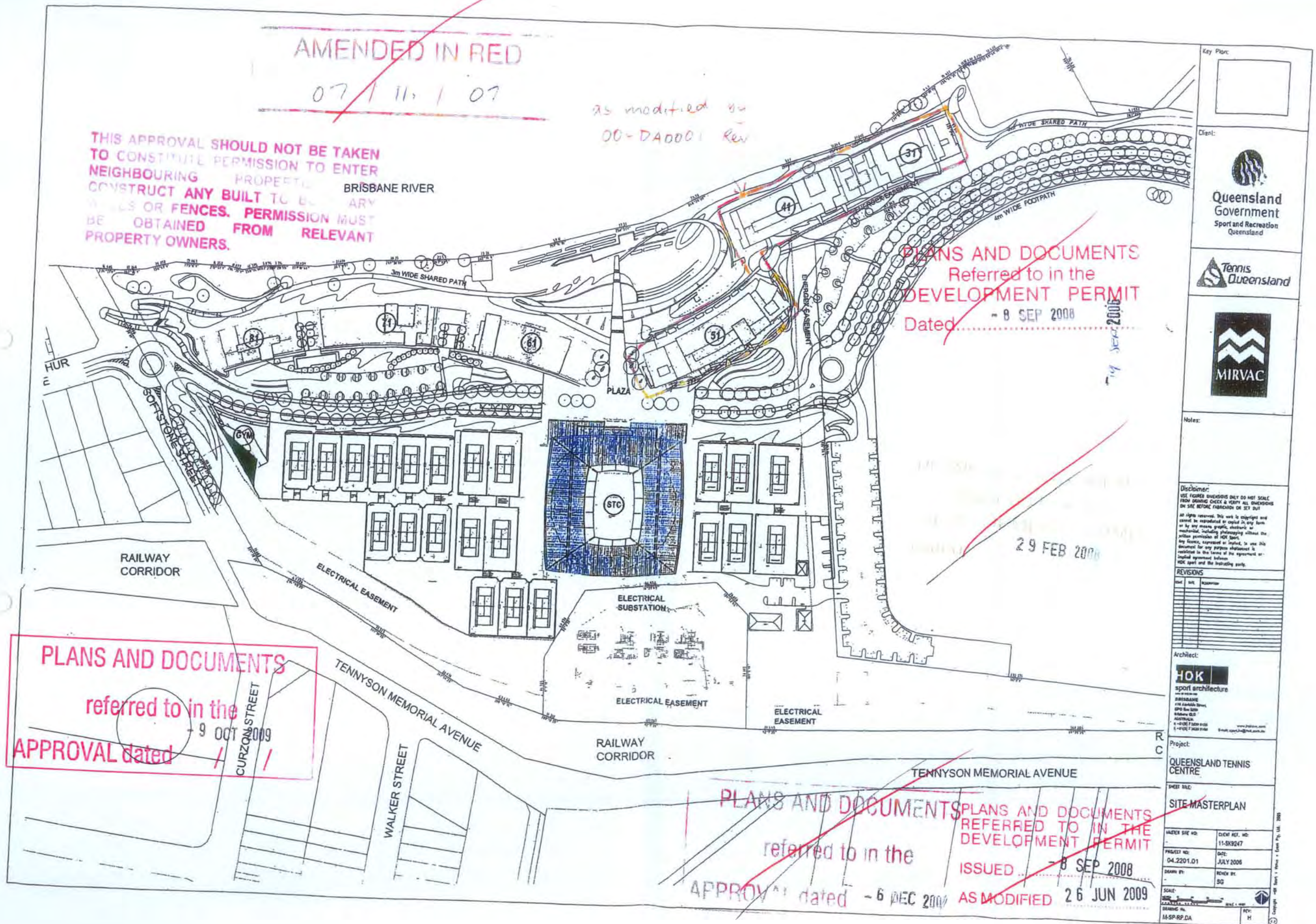
project **Queensland  
State Tennis  
CENTRE**  
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South West, QLD, 4101  
Tel: (07) 3500 0000  
Fax: (07) 3500 0001  
Mirvac Design Pty Ltd  
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DEVELOPMENT APPROVAL  
SITE ELEVATIONS  
BUILDINGS A-F

drawn 10/10/08  
scale A1 1:750  
job no. 51700  
drawing no. 00-DA1600  
BCC.067.0897



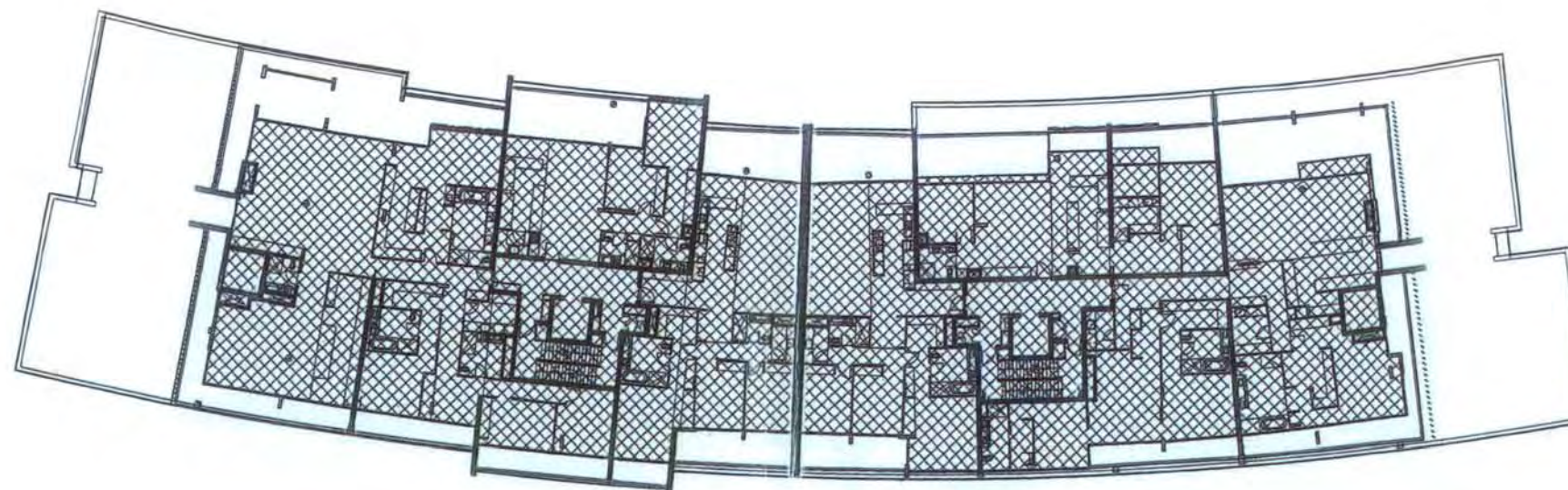




GROSS FLOOR AREA: 1417.5m<sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008



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referred to in the  
APPROVAL dated - 9 OCT 2009

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PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

rev	date	statement
A	12/09/07	AMENDED DA APPLICATION

rev	date	statement

project  
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architect  
**Mirvac Design**  
architects  
interior designers

1/2 to 4 Gray Street  
Sydney NSW 2000  
Tel: (02) 2112 1100  
Fax: (02) 2112 1101

client  
**mirvac**

title  
GROSS FLOOR AREA CALCS L09  
BUILDING D

drawn: Author  
approved: Checker

job no: 517

date: 07/30/07

scale @ A1: 1:200

sheet no: 51

drawing no: 51-DA1050rev.A

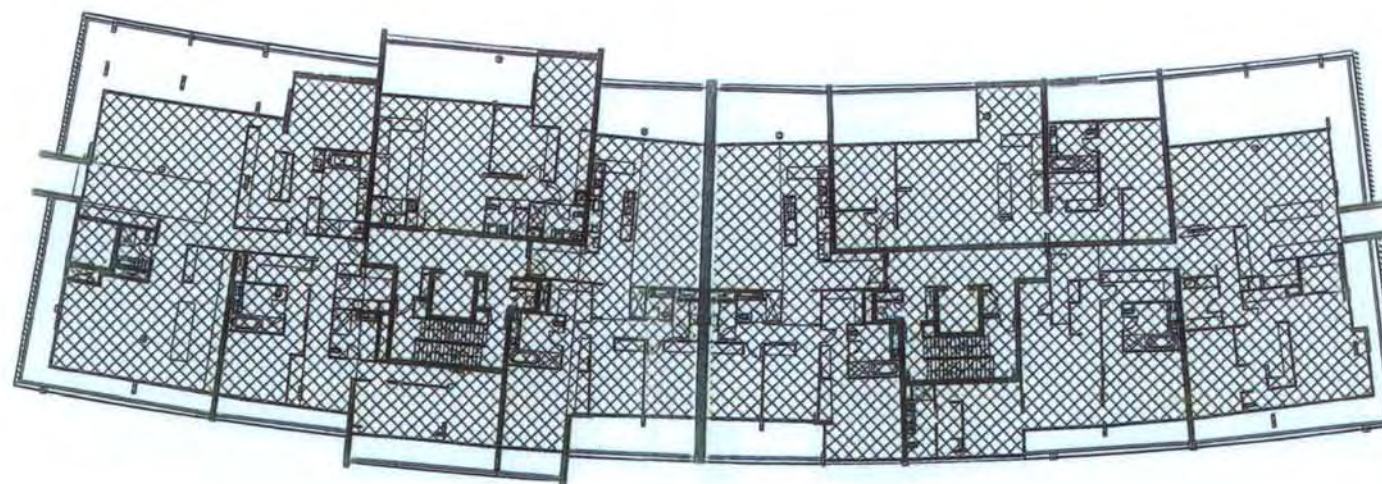
29 FEB 2008



GROSS FLOOR AREA: 1406.0m<sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 29 FEB 2008

rev	date	amendment
A	13/04/07	AMENDED APPLICATION

rev	date	amendment

project: **Tennyson Reach**  
architect: **Mirvac Design**  
client: **mirvac**  
title: **GROSS FLOOR AREA CALCS L10 BUILDING D**

scale: 1:200  
drawing no: 51-DA1051-01-A

drawn: Author  
approved: Checker  
job no: 517  
date: 07/04/07  
scale: 1:200  
drawing no: 51-DA1051-01-A

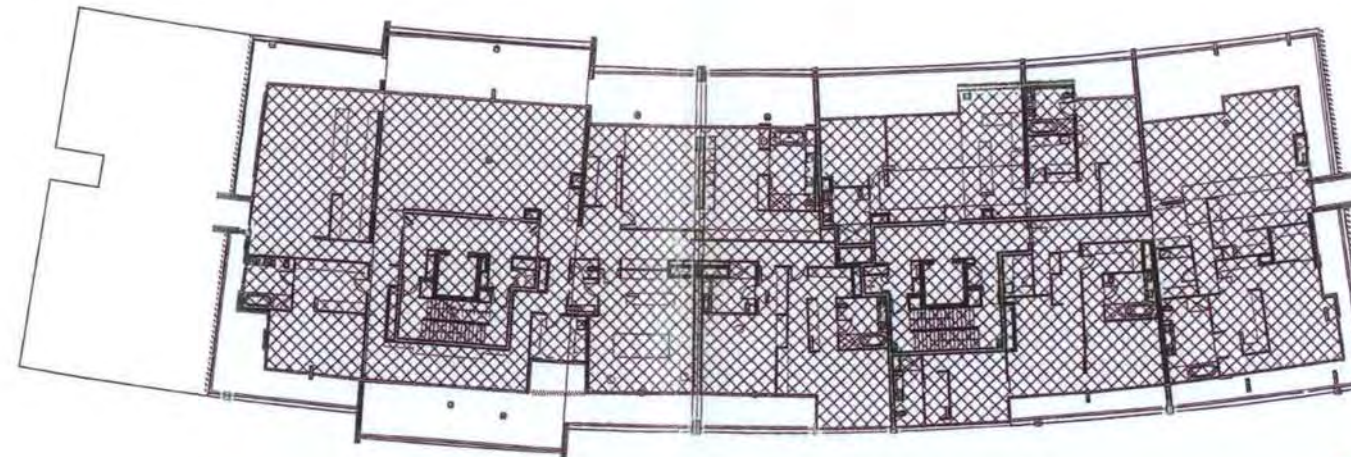
BCC.067.0929



GROSS FLOOR AREA: 1182.5m<sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... - 8 SEP 2008



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DEVELOPMENT PERMIT  
ISSUED ..... - 8 SEP 2008  
AS MODIFIED ..... 26 JUN 2009

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PLANS and DOCUMENTS  
Referred to in the  
DEVELOPMENT PERM.  
Dated ..... 29 FEB 2008

rev	date	amendment
A	13/05/07	AMENDED DA APPLICATION

rev	date	amendment

project  
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architect  
**Mirvac Design**  
architects  
planners  
interior designers

14/2 Hill Street  
Sydney NSW 1500, AUS  
T: (02) 9737 3888  
F: (02) 9737 3889  
E: info@mirvac.com.au  
www.mirvac.com.au

client  
**mirvac**

file  
GROSS FLOOR AREA CALCS L11  
BUILDING D

drawn: Author  
approved: Checker

job no: 517

date: 07/05/07

scale @ A1: 1:200

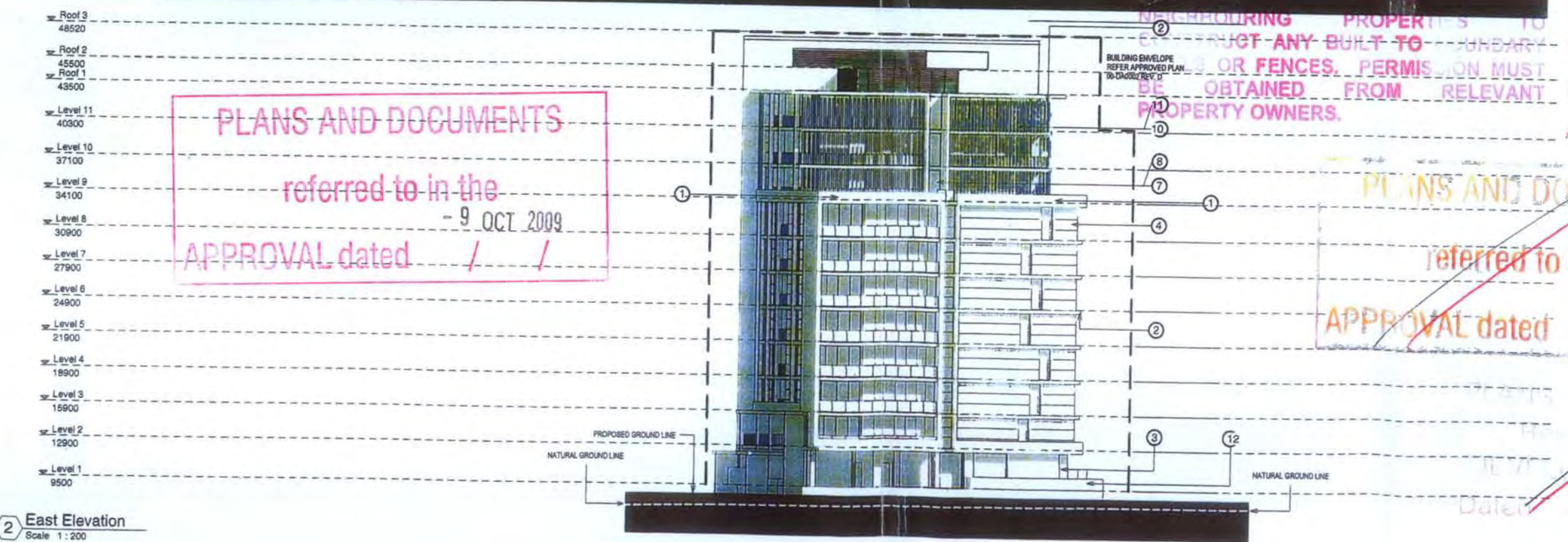
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drawing no: 51-DA1052-A





1 North Elevation  
Scale 1:200



2 East Elevation  
Scale 1:200

**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

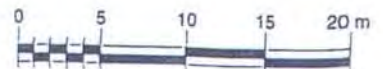


- FINISHES LEGEND**
- 1 Masonry - Applied finish - colour 1
  - 2 Masonry - Applied finish - colour 2
  - 3 Masonry - Applied finish - colour 3
  - 4 Masonry - Applied finish - colour 4
  - 5 Metal Sunshade - Applied finish - colour 5
  - 6 Metal Screens - Applied finish - colour 6
  - 7 Metal Glazing frame - Powder coat - colour 8
  - 8 Transparent Glazing - Tinted glass - colour 7
  - 9 Translucent Glazing - Tinted glass with interlayer - colour 7
  - 10 Metal Balustrades - Powder coat - colour 6
  - 11 Balustrade Glazing - Tinted glass - colour 7
  - 12 Feature Masonry - Cladding - Type 1

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 29 FEB 2009



REV	DATE	AMENDMENT
1	18/10/08	State Government Submission A (NPA) - (GAC)
2	08/11/08	DA ISSUE - (GAC)
3	25/08/09	DA NPI ISSUE - (GAC)
4	13/08/07	AMENDED DA ISSUE BUILDING 01 - (AM)
5	13/08/07	AMENDED DA APPLICATION - (AM)
6	13/08/07	AMENDED BUILDING 01 DA APPLICATION - (AM)

REV	DATE	AMENDMENT

project: **Tennyson Reach**

architect: **Mirvac Design**

client: **mirvac**

site: **DEVELOPMENT APPROVAL ELEVATION SHEET 1 BUILDING D**

drawn: Author  
approved: Checker

job no: 517  
date: 07/25/07  
scale: @ A1: 1:200

blog no: 51  
drawing no: 51-DA1600-err.F

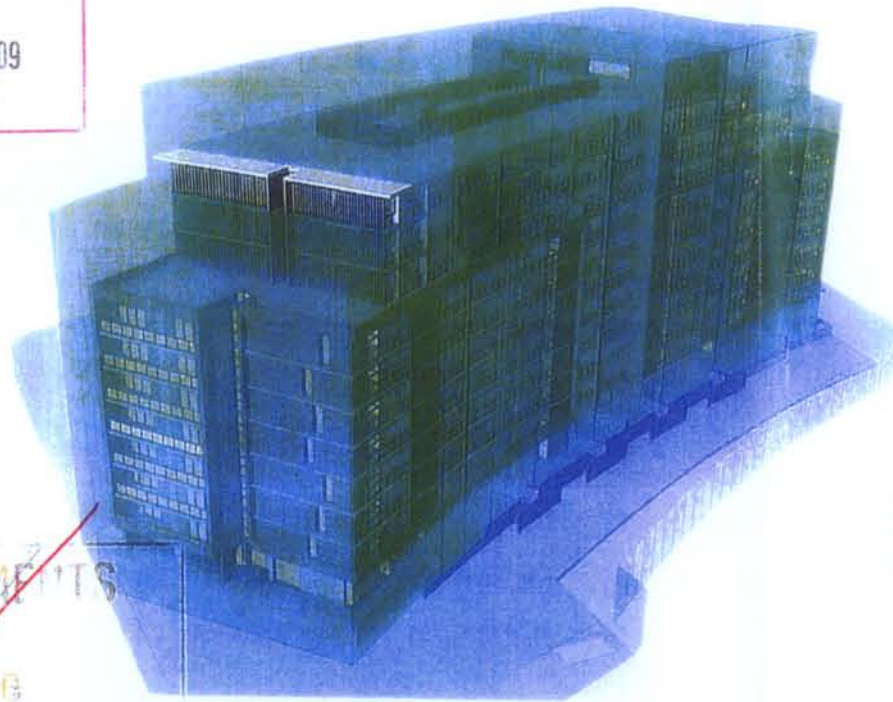


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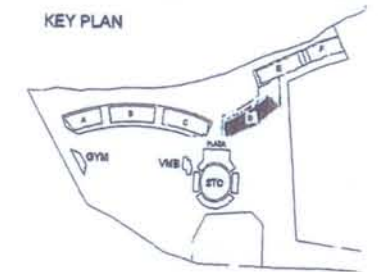
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referred to in the  
APPROVAL dated - 9 OCT 2009

2



TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

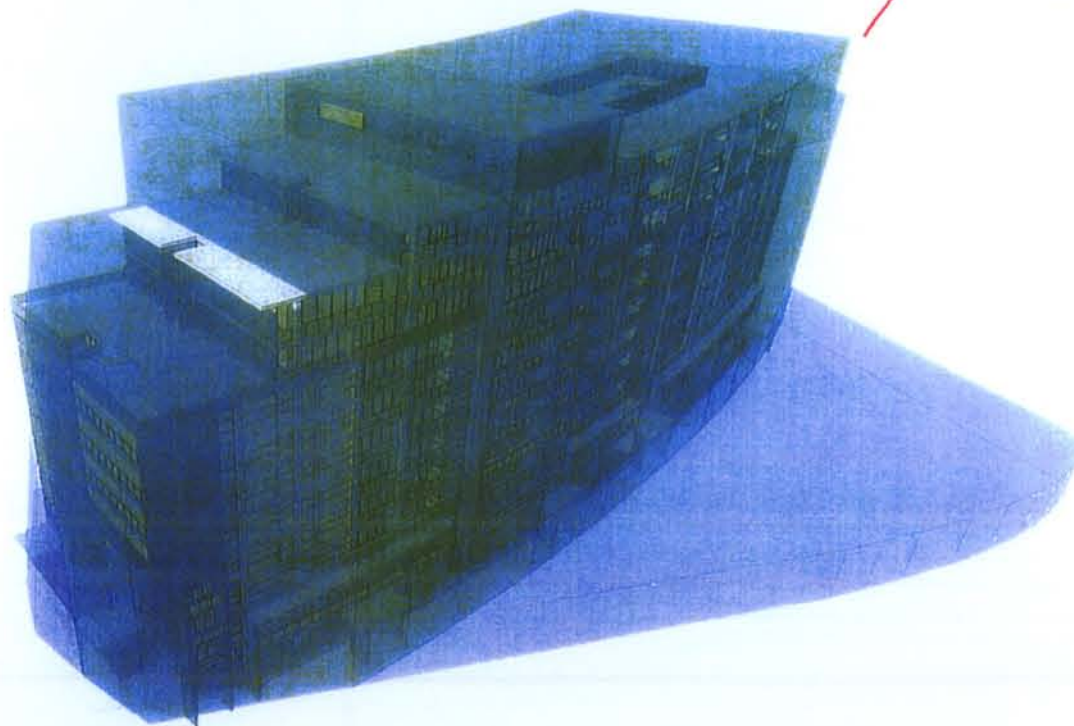
KEY PLAN



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

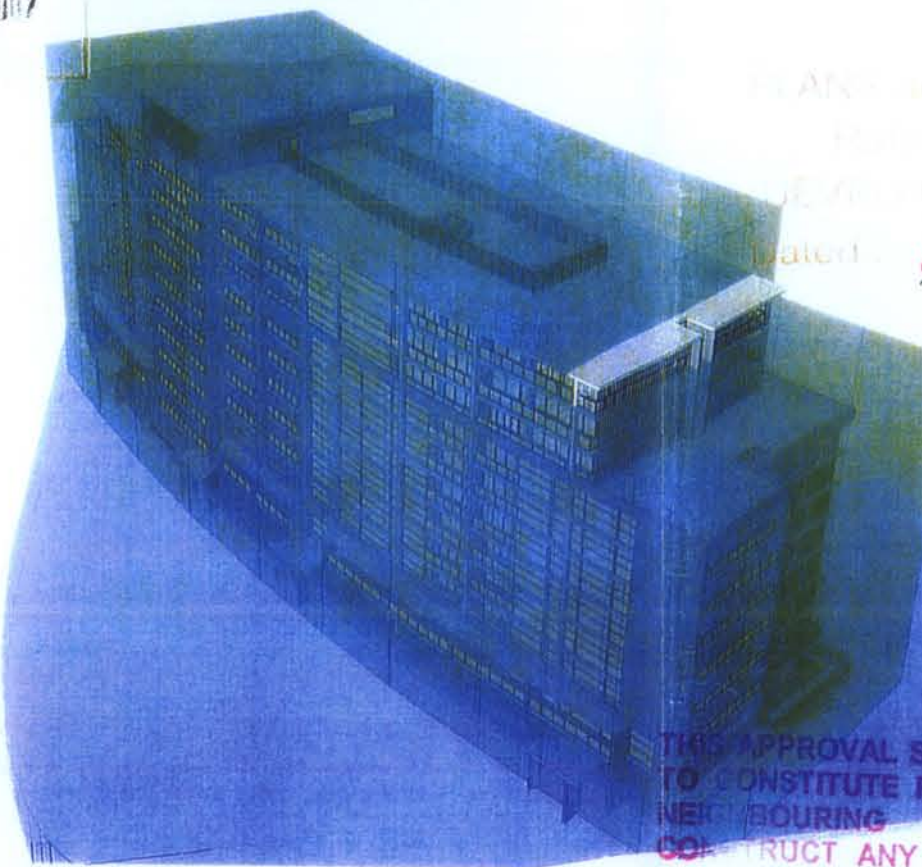
NOTE: BUILDING ENVELOPE AS PER  
APPROVED DRAWING 00-DA0002 REV. D

3



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

4



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 29 FEB 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

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WALLS OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS

rev	date	amendment
A	25/07/07	AMENDED DA ISSUE BUILDING 51 - (M)
B	25/07/07	AMENDED BUILDING 51 DA APPLICATION - (M)

rev	date	amendment

project  
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architect  
Mirvac Design  
architects  
planners  
interior designers

1st 2184 Grey Street  
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tel: (07) 3633 5400  
fax: (07) 3633 5400  
Mirvac Design Pty Ltd  
ABN 13 042 288 103

client  
mirvac

title  
DEVELOPMENT APPROVAL  
PERSPECTIVE VIEWS - MASS  
BUILDING D

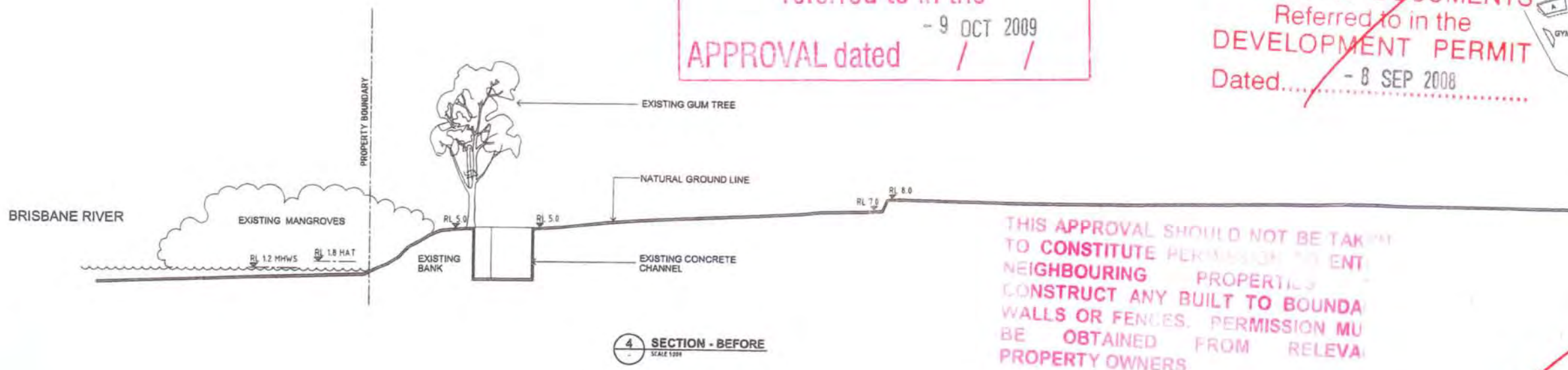
drawn: Author  
approved: Checker  
job no: 517  
date: 25/07/07  
scale: @ A1:  
bldg no: 51  
drawing no: 51-DA1602 rev B





PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009 / /

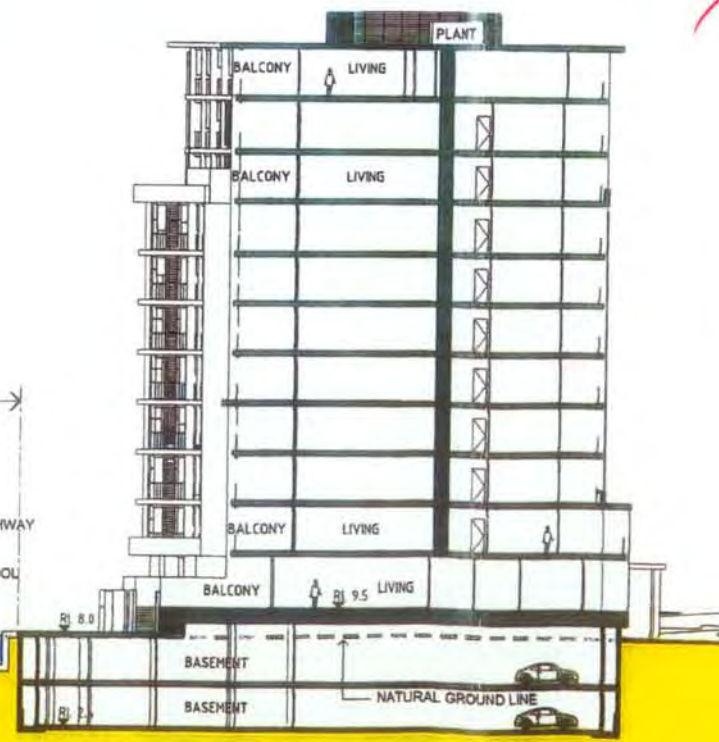
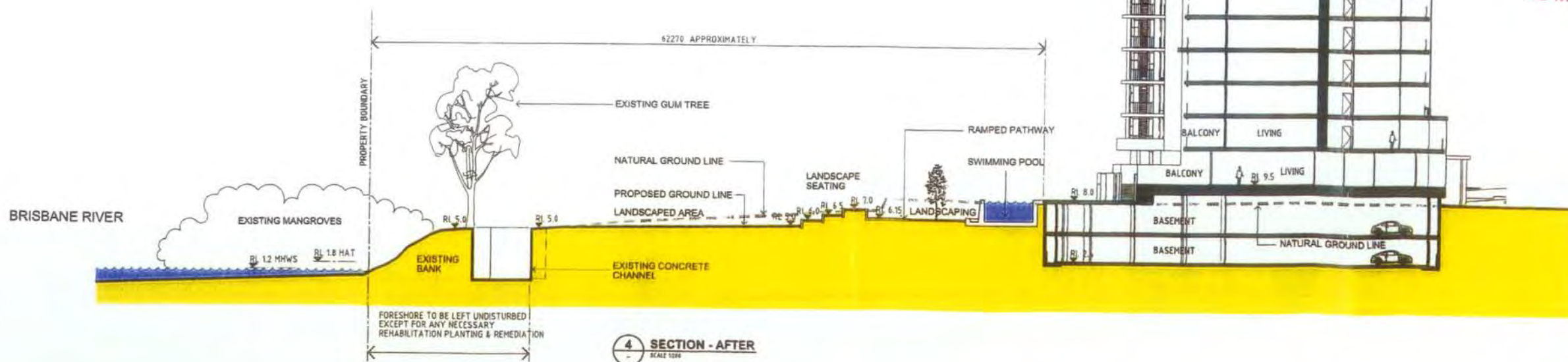
PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008



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LANDSCAPED REFERENCE TO ELEVATION  
ISSUED - 6 DEC 2007  
AS MODIFIED

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



date	rev	amendment
20/09/04	A	SA NOT ISSUE - 10M2
10/01/05	B	AMENDED SA APPLICATION - 10M2

date	rev	amendment

project  
Tennyson Reach  
architects  
planners  
interior designers  
Mirvac Design  
Lvl 2, 104 Grey Street  
South Bank, QLD, 4101  
tel: (07) 3400 0000  
fax: (07) 3400 1000  
Mircos Design Pty Ltd  
ABN 19 002 300 100

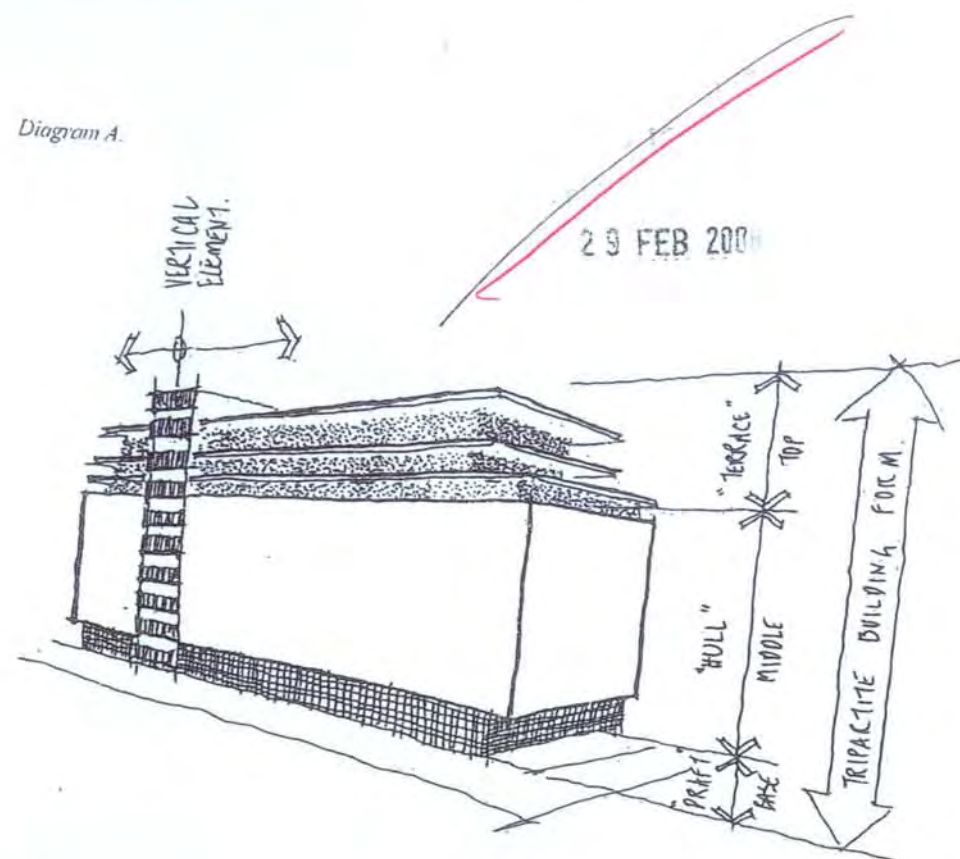
DEVELOPMENT APPROVAL  
SECTION 4 - BEFORE & AFTER  
BUILDING D

0m 5m 10m 15m 20m

scale @ A1 1:200

date  
p/c no. 51700  
drawing no. 51-DA1610 rev B  
BCC.067.0888

Diagram A.



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Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

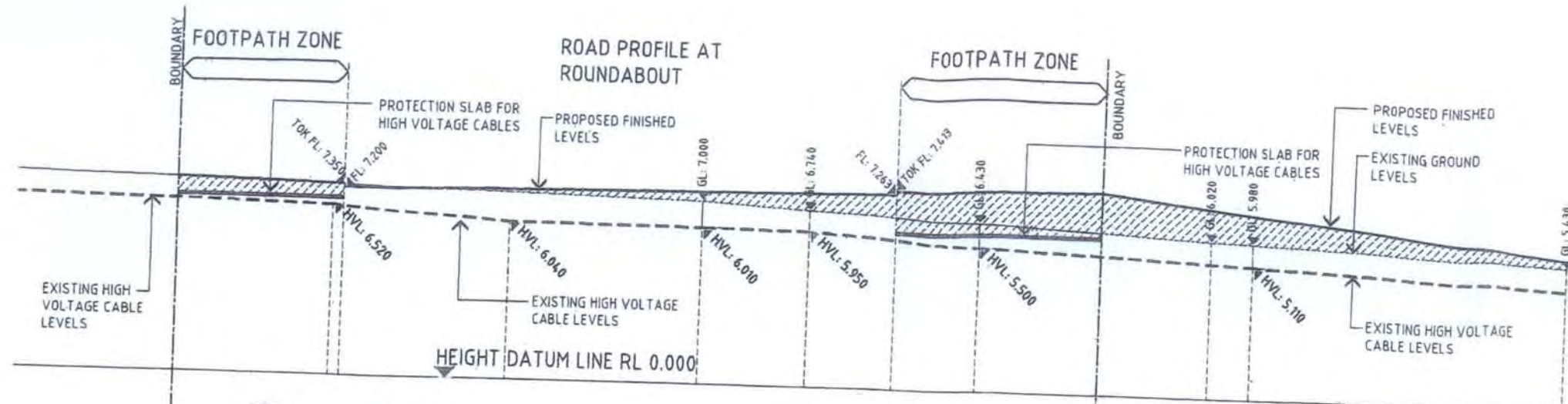
PLANS AND DOCUMENTS  
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APPROVAL dated - 19 SEP 2006

19 SEP 2006

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009  
SK 1(a).

Revised March 2006





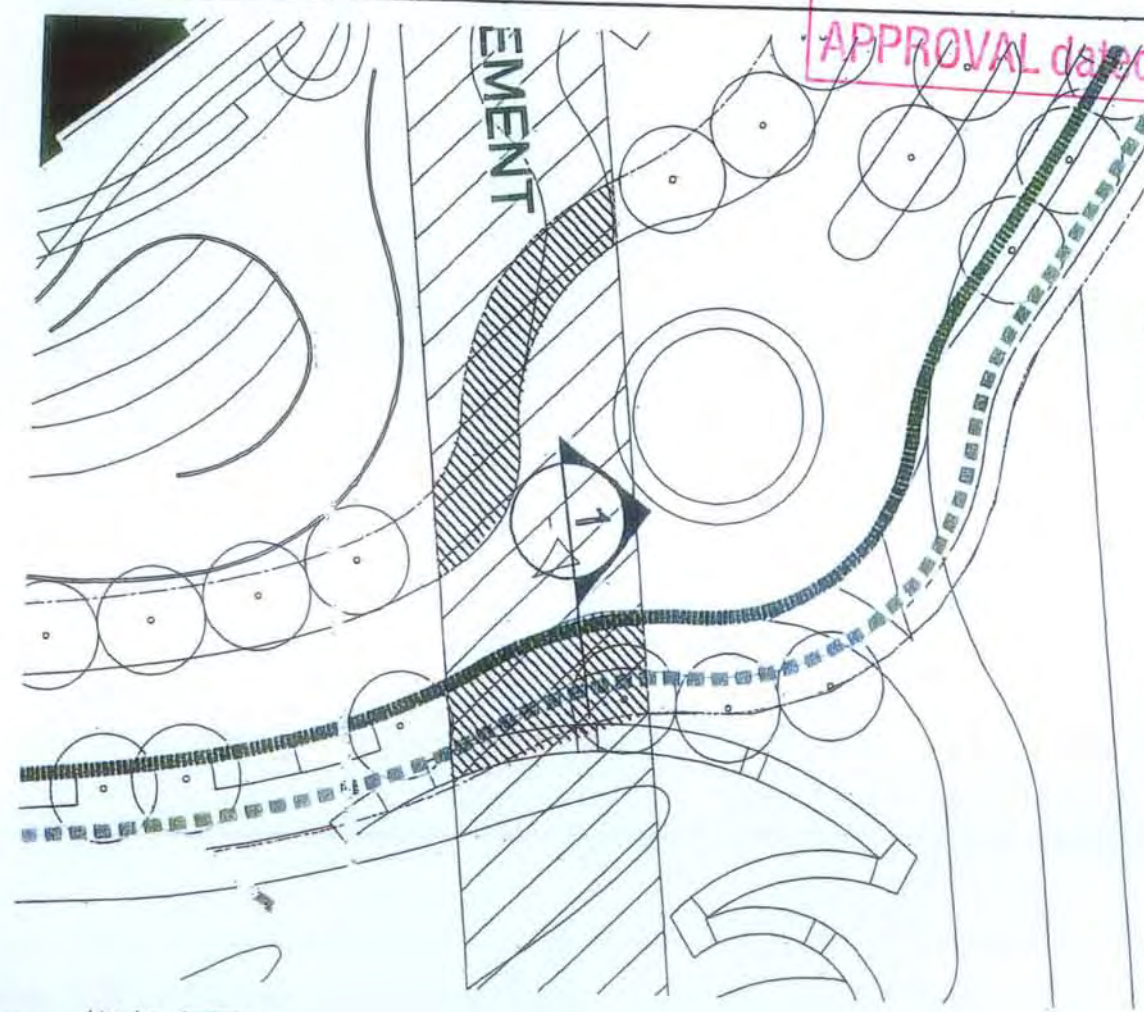
**1 SECTION**  
**DETAIL CROSS SECTION ROUNDABOUT**  
SCALE 1:100

- ZONE OF CLEAN IMPORTED FILL
- HVL HIGH VOLTAGE CABLE LEVEL-AS SUPPLIED BY ENERGEX.  
NOTE: FINAL LOCATION TO BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK
- FL PROPOSED FINISHED GROUND LEVEL
- GL EXISTING GROUND LEVEL-AS SUPPLIED BY ENERGEX
- TOK TOP OF KERB

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PLANS AND DOCUMENTS  
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DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009



HATCHED ZONE INDICATES THE  
EXTENT OF THE PROPOSED  
CONCRETE PROTECTION SLAB  
FOR THE HIGH VOLTAGE  
CABLES

29 FEB 2008

PLANS AND DOCUMENTS  
referred to in the

PROV. dated - 7 DEC 2007  
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referred to in the  
APPROVAL dated - 9 OCT 2009

DATE: 12/01/08  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]

Queensland  
State Tennis  
CENTRE

hpa

DETAIL CROSS SECTIONS THROUGH  
ACCESS ROAD  
SERVICES THROUGH EASEMENT



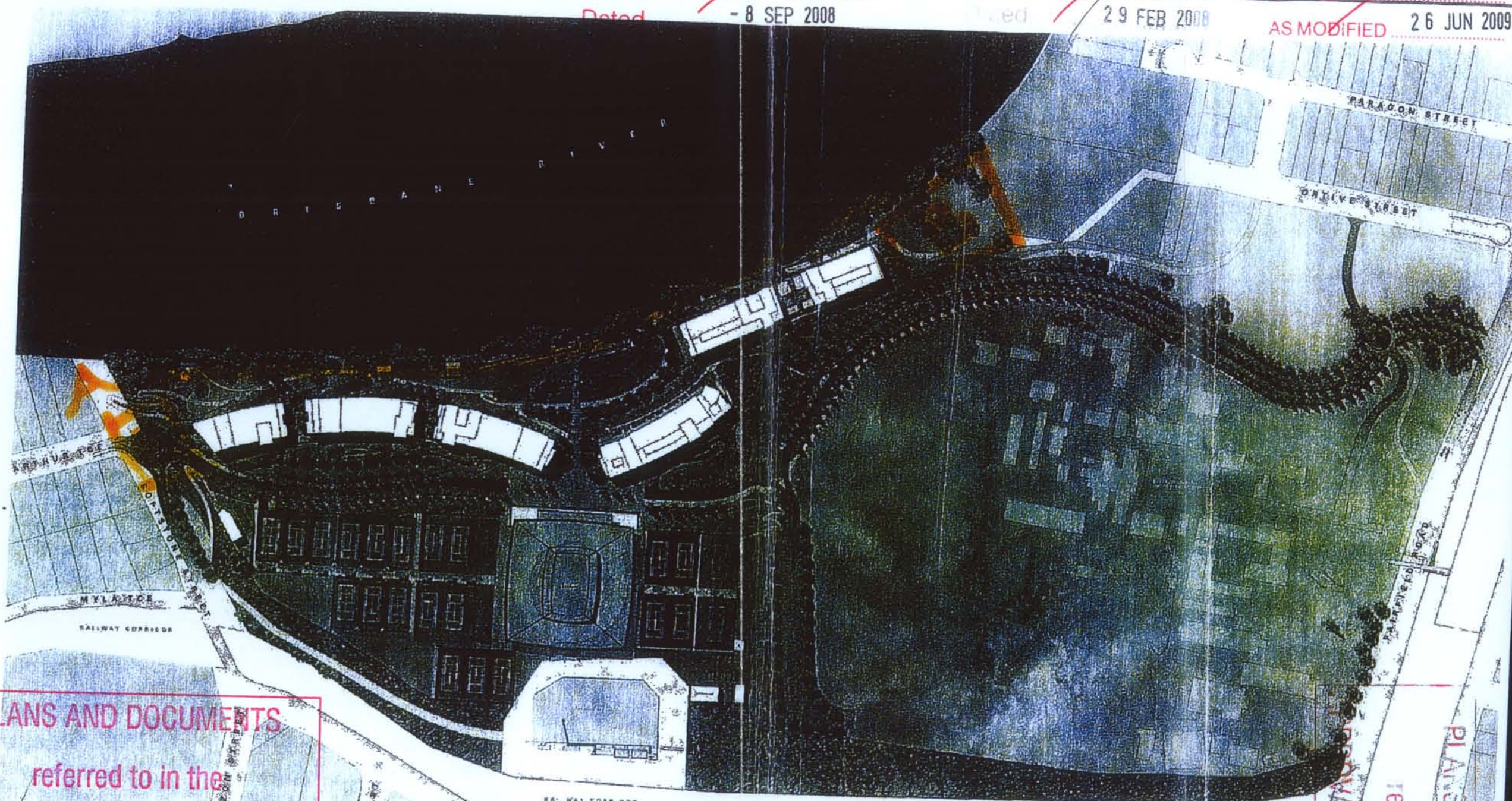
BCC.067.0916



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Dated - 8 SEP 2008

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DEVELOPMENT PERMIT  
EDAW AT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

29 FEB 2008



PLANS AND DOCUMENTS  
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APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS

referred to in the  
APPROVAL dated - 6 DEC 2007

# LANDSCAPE MASTERPLAN

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AMENDED IN RED

19 SEP 2006

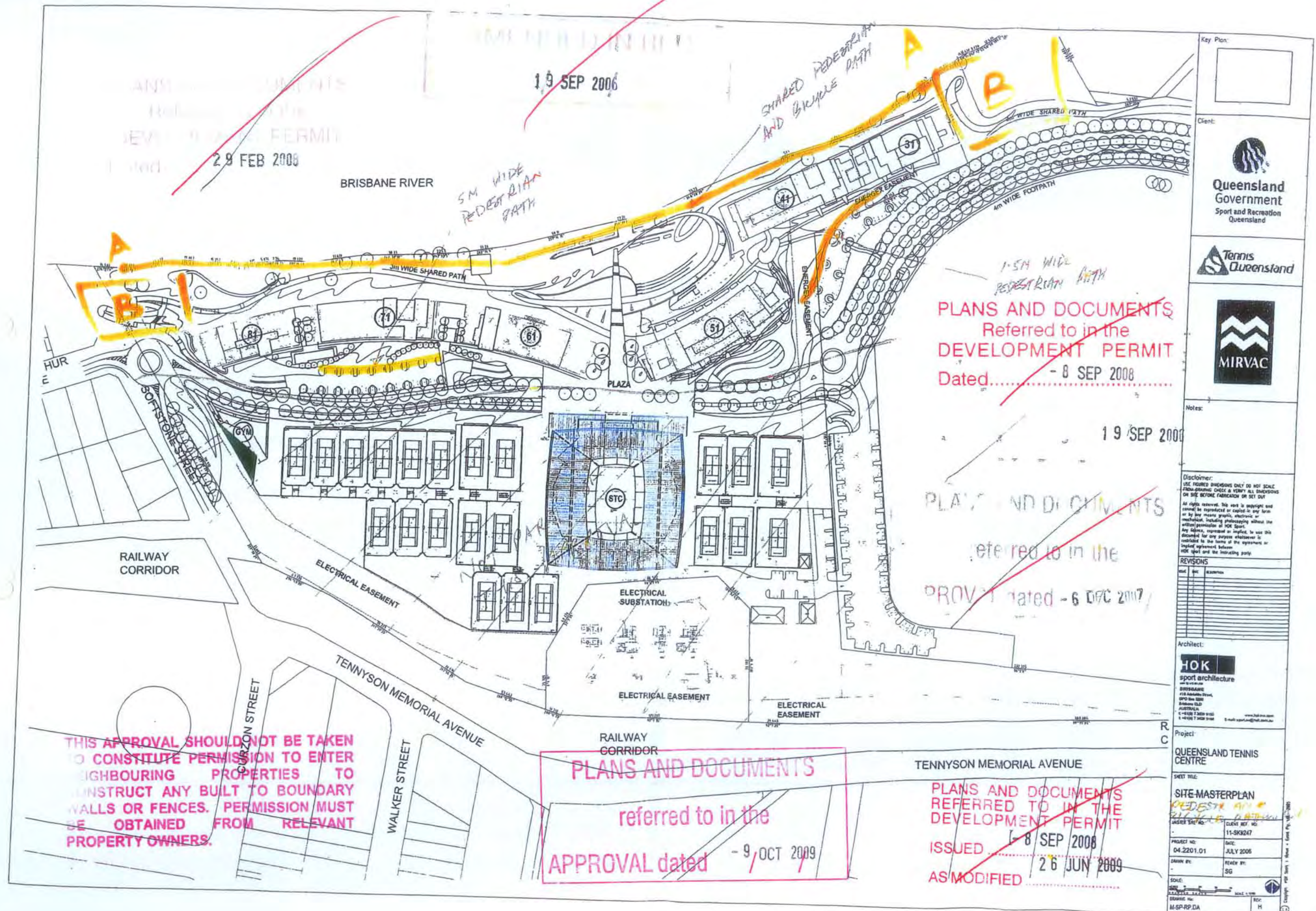
19 SEP 2006

JULY 2006



CC.067.0920







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APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
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Dated 29 FEB 2008



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referred to in the  
APPROVAL dated - 19 SEP 2006

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

LEGEND

RT	Recycled timber batten screens over frameless glazing
RC	Painted rendered concrete
FG	Frameless glazing
S	Stone
TC	Timber cladding
CB	Non-Reflective colourbond on architectural steel



Notes:

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REVISIONS

NO.	DATE	REVISION

Architect:

**HOK**  
sport architecture  
111 Adelaide Street  
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AUSTRALIA  
P +61 3 9607 2000 F +61 3 9607 2001  
E mail sport.arch@hok.com.au

Project:

QUEENSLAND TENNIS  
CENTRE

Sheet title:

NORTH ELEVATION

MASTER SHEET NO.	CLIENT REF. NO.
PROJECT NO.	DATE
DESIGN BY	REVIEW BY
SCALE	DATE
DRAWING NO.	REV.
A-EL-01DA	H



PLANS AND DOCUMENTS

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DEVELOPMENT PERMIT

Dated - 8 SEP 2008

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APPROVAL dated 19 SEP 2006PLANS AND DOCUMENTS  
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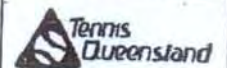
## LEGEND

RC	Painted rendered concrete
RT	Timber cladding
RT	Recycled timber
CB	Non-Reflective colourbond on architectural steel

Key Plan:



Client:

Queensland  
Government  
Sport and Recreation  
Queensland

Notes:

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No.	Rev.	Description

Architect:

**HOK**  
Sport Architecture  
111 Adelaide Street  
GPO Box 300  
Brisbane QLD  
4001  
T: +61 7 3200 9100  
F: +61 7 3200 9101  
Email: sport@hok.com.au

Project:

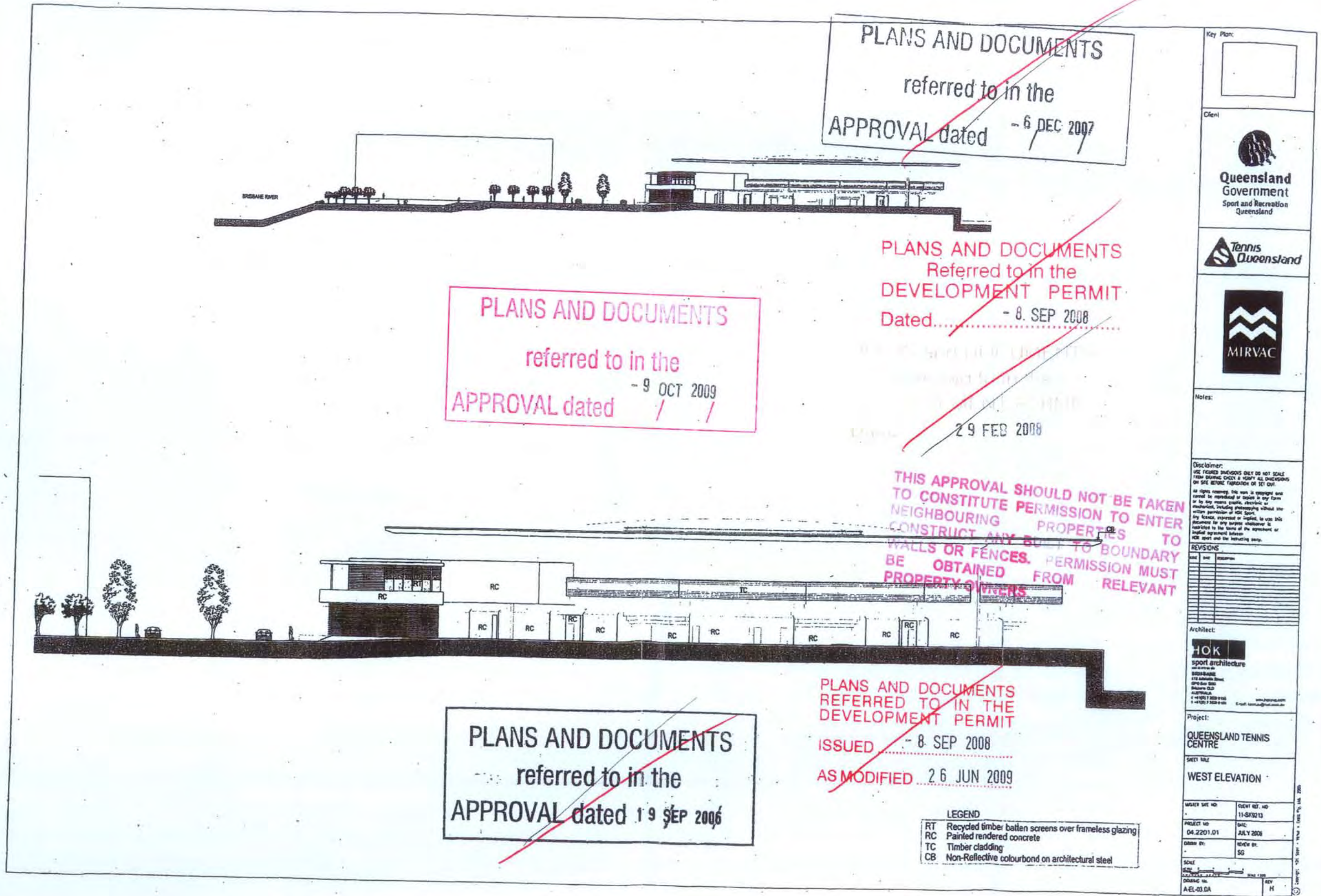
QUEENSLAND TENNIS  
CENTRE

SHEET TITLE:

SOUTH ELEVATION

UNIFORM SHEET NO.	CLASH REF. NO.
PROJECT NO.	DATE
04-2201.01	JULY 2006
DRAWN BY:	CHECKED BY:
SG	SG
SCALE:	SCALE 1:100
AS SHOWN	REV. H
A-EL-02 DA	







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LEGEND

RT	Recycled timber batten screens over frameless glazing
RC	Painted rendered concrete
TC	Timber cladding
CB	Non-Reflective colourbond on architectural steel

Key Plan:

Client:

Queensland Government  
Sport and Recreation  
Queensland

Tennis Queensland

MIRVAC

Notes:

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REVISIONS

REV	DATE	DESCRIPTION

Architect:

HOK  
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110 Adelaide Street  
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T +61 3 9290 9000  
F +61 3 9290 9001  
www.hok.com.au  
Email: hok@hok.com.au

Project:

QUEENSLAND TENNIS  
CENTRE

SHEET TITLE:

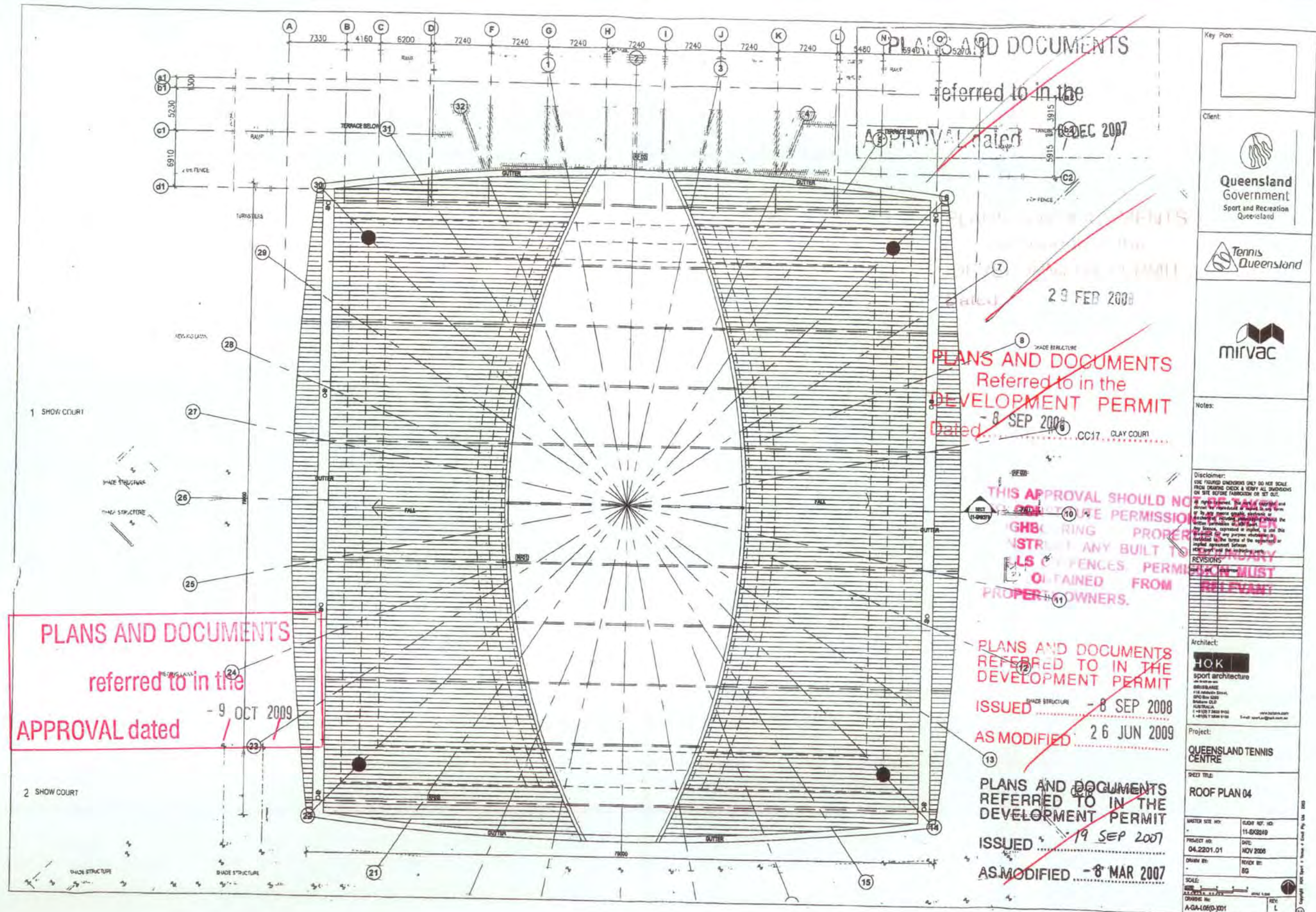
EAST ELEVATION

CLIENT SITE NO:	CLIENT REF. NO:
PROJECT NO:	DATE:
DRAWN BY:	REVIEW BY:
SCALE:	REV:
DATE:	BY:
DRAWING NO:	REV:
A-EL-04.DA	H

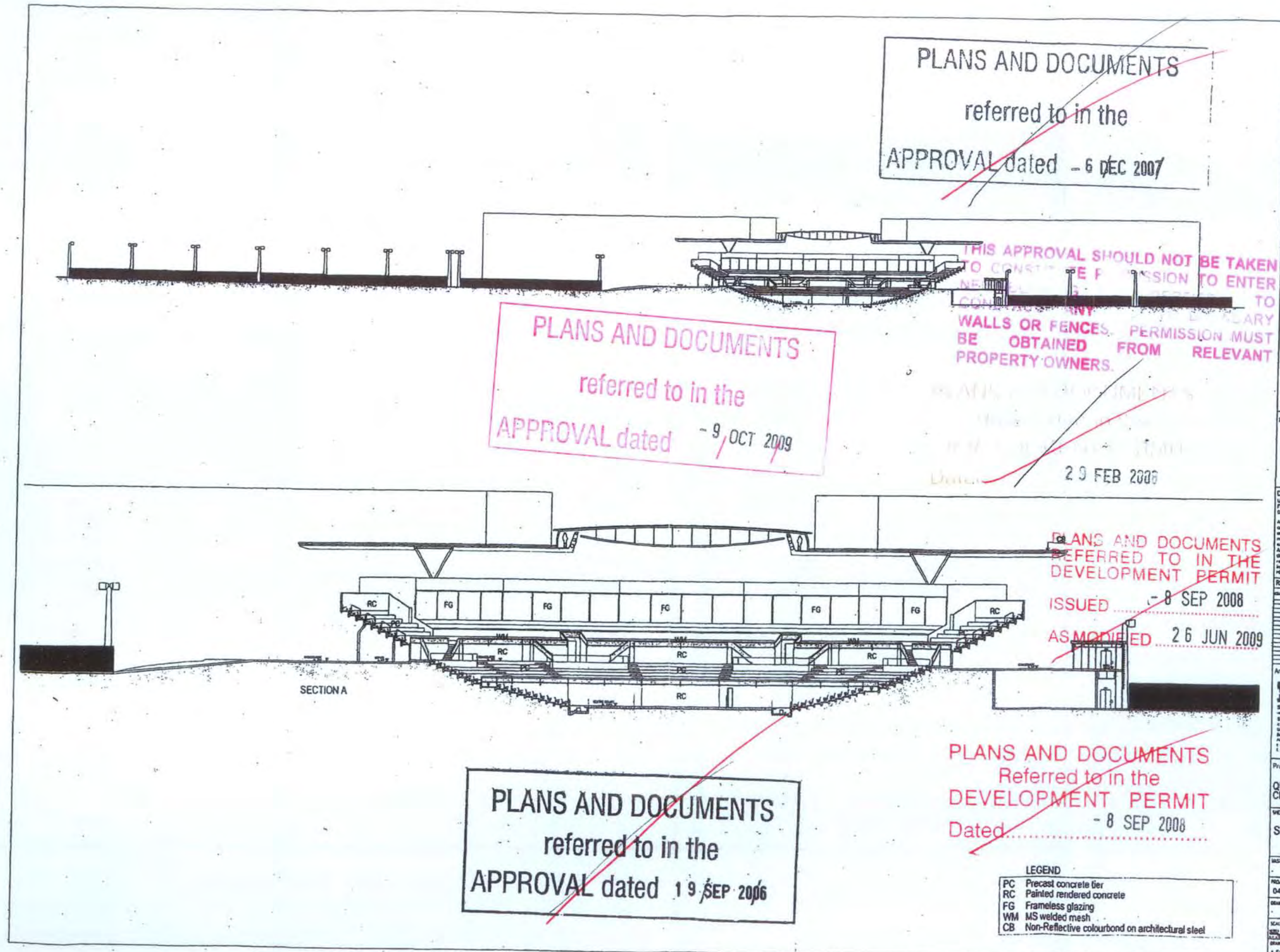












Key Plan:

Client:

Queensland Government  
Sport and Recreation  
Queensland

Tennis Queensland

MIRVAC

Notes:

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NO.	DATE	REVISION
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2		
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Architect:

HOK  
sport architecture  
110 Adelaide Street,  
Suite 200  
Melbourne VIC 3000  
AUSTRALIA  
T: +61 (0)3 544 1100 F: +61 (0)3 544 1101 E: info@hok.com.au

Project:

QUEENSLAND TENNIS  
CENTRE

SHEET NO.:

SECTION A-A

MASTER SHEET NO.:

CUSTOMER REF. NO.:

11-SK3221

PROJECT NO.:

04-2201-01

DATE:

JULY 2005

DRAWN BY:

SG

REVIEW BY:

SG

SCALE:

1:100

DATE:

11/07/05

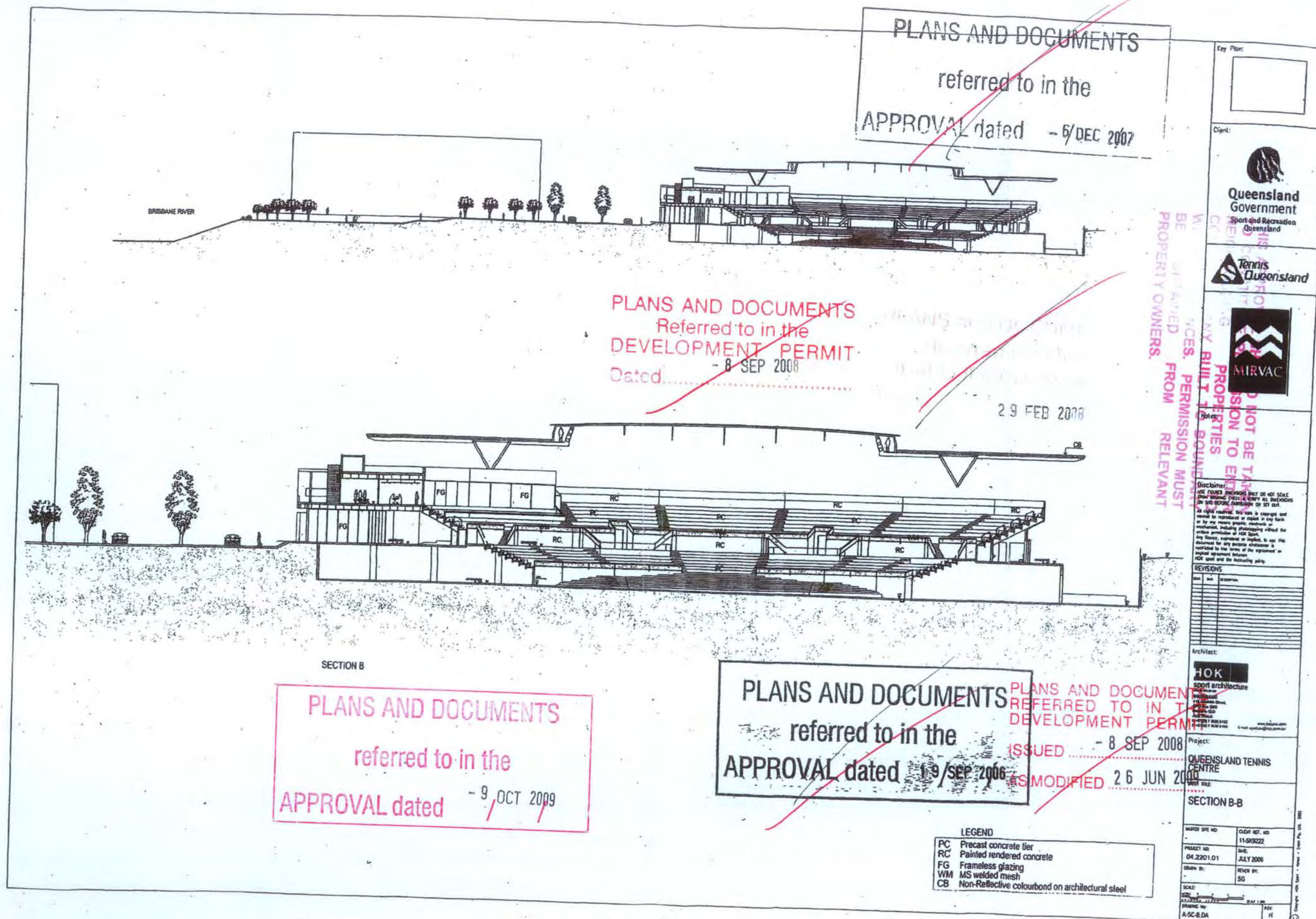
DRAWING NO.:

A-SCADA

REV:

H







## FINISHES LEGEND

- FIN1 Galv. steel balustrade
- FIN2 Rendered blockwork raked joints
- FIN3 Face blockwork
- FIN4 Stone veneer on blockwork
- FIN5 Texture finished blockwork
- FIN6 Coloured precast concrete boarded finish
- FIN7 Precast concrete
- FIN8 Pre-cast with acoustic lining
- FIN9 Off-form concrete
- FIN10 Court fencing
- FIN11 Frameless glazing
- FIN12 Aluminium framed glazing
- FIN13 Aluminium louvres
- FIN14 Acoustic louvres
- FIN15 Tensile fabric - PTFE
- FIN16 Colorbond roof sheeting
- FIN17 Acoustic soffit
- FIN18 Steel structure powder coated
- FIN19 Steel structure painted
- FIN20 Timber batten screens

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APPROVAL dated - 6 DEC 2007

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DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008

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AS MODIFIED - 8 MAR 2007

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RL 32.000 TOP OF PROPOSED ROOF STRUCTURE AT CENTRE

BD1  
BD2

RL 28.000 TOP OF PROPOSED ROOF STRUCTURE AT EAVES

BD1

BD2

BD1

BD2

BD1

BD2

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BD1

BD2

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PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 19 SEP 2006  
AS MODIFIED - 8 MAR 2007

FINISHES LEGEND

- BA01 Grey stone balustrade
- BA02 Rendered blockwork (sided walls)
- BA03 Face blockwork
- BA04 Stone veneer on blockwork
- BA05 Texture finished blockwork
- CA01 Coloured precast concrete boarded finish
- CA02 Precast concrete
- CA03 Pre-cast with acoustic lining
- CA04 Off-form concrete
- CA05 Court fencing
- GL01 Frameless glazing
- GL02 Aluminium framed glazing
- LA01 Aluminium louvers
- LA02 Acoustic louvers
- RT01 Tensile fabric - PTFE
- RT02 Colorbond roof sheeting
- RT03 Acoustic roof
- ST01 Steel structure powder coated
- ST02 Steel structure painted
- ST03 Timber battens screens

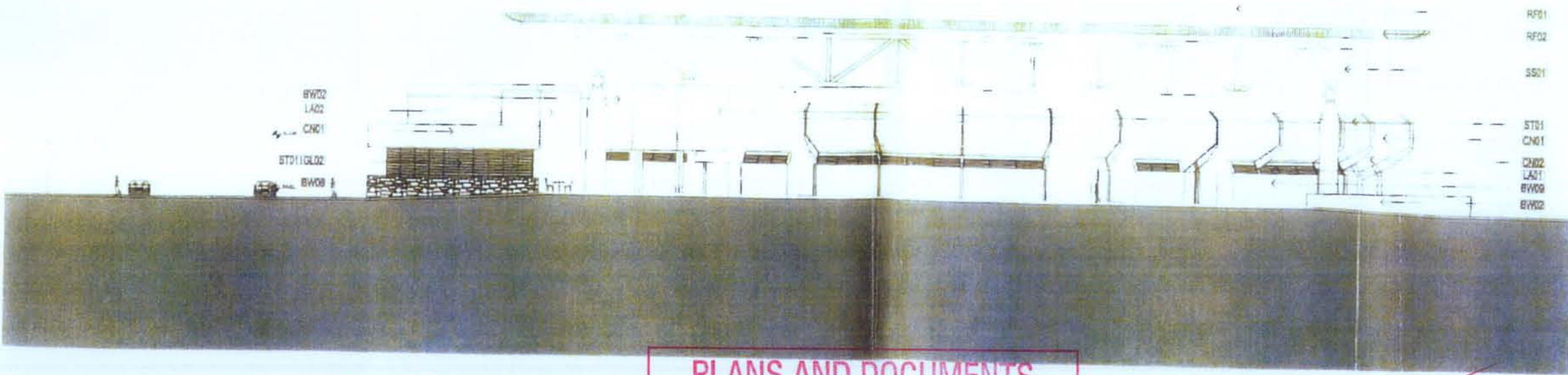


**HOK**  
sport architecture  
11-13 QUEENSLAND STREET  
SYDNEY NSW 2000  
AUSTRALIA  
TEL: 02 9250 4100  
WWW.HOK.COM.AU

QUEENSLAND TENNIS CENTRE

WEST ELEVATION

DATE: 11-09-2013	BY: [Signature]
DATE: 14-22-01-01	BY: [Signature]
DATE: 11-09-2013	BY: [Signature]
DATE: 11-09-2013	BY: [Signature]



PLANS AND DOCUMENTS  
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APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008







PLANS AND DOCUMENTS  
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FINISHES LEGEND

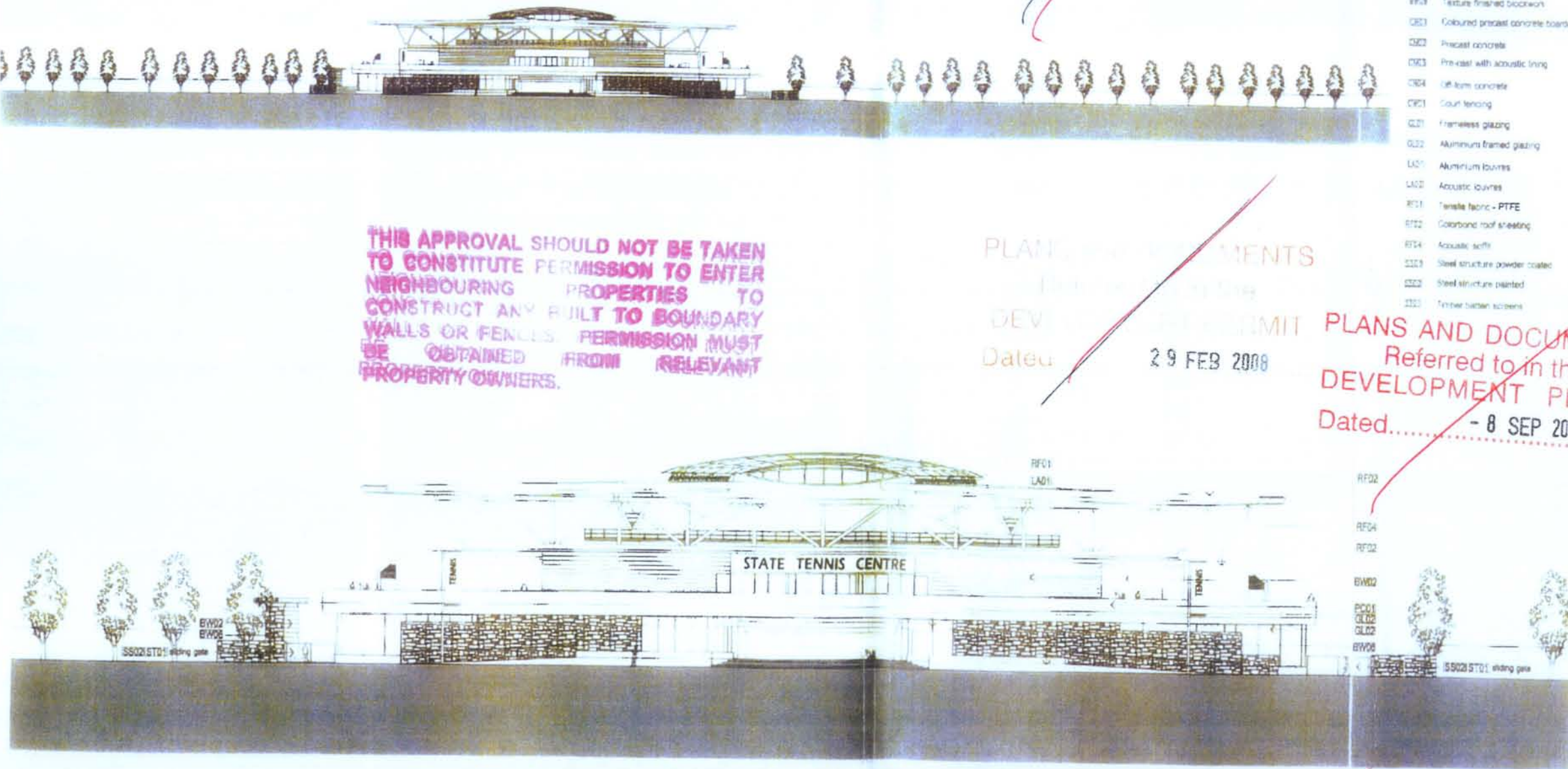
- BA01 Jan. steel balustrade
- BR02 Rendered blockwork raised pits
- BR03 Face blockwork
- BR04 Stone veneer on blockwork
- BR05 Texture finished blockwork
- CR01 Coloured precast concrete boarded finish
- CR02 Precast concrete
- CR03 Pre-cast with acoustic lining
- CR04 Off-form concrete
- CR05 Court fencing
- GL01 Frameless glazing
- GL02 Aluminium framed glazing
- LA01 Aluminium louvres
- LA02 Acoustic louvres
- RT01 Tensile fabric - PTFE
- RT02 Colorbond roof sheeting
- RT04 Acoustic soffit
- SS01 Steel structure powder coated
- SS02 Steel structure painted
- SS03 Timber screen screens



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referred to in the  
DEVELOPMENT PERMIT  
Dated 29 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008



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sport architecture  
111 BAKER ST  
SYDNEY NSW 2001  
TEL: 02 9550 1000  
WWW.HOK.COM

QUEENSLAND TENNIS CENTRE  
NORTH ELEVATION

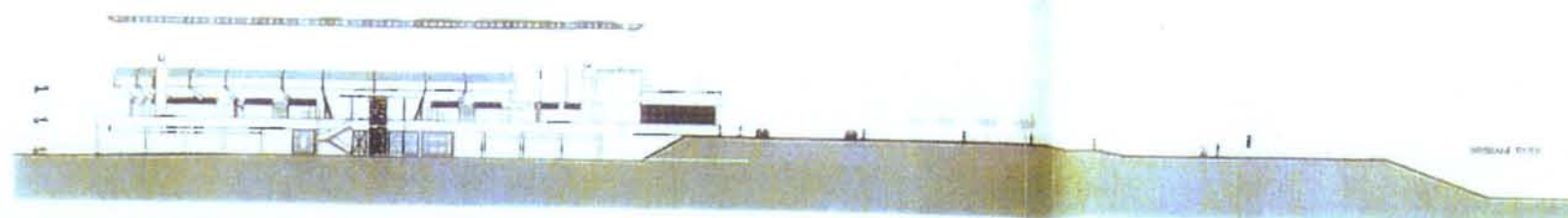
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DATE: DEC 2006  
SHEET NO: 50  
TOTAL: 50  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 26 JUN 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 14 SEP 2006  
AS MODIFIED - 8 MAR 2007

PLANS AND DOCUMENTS  
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ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

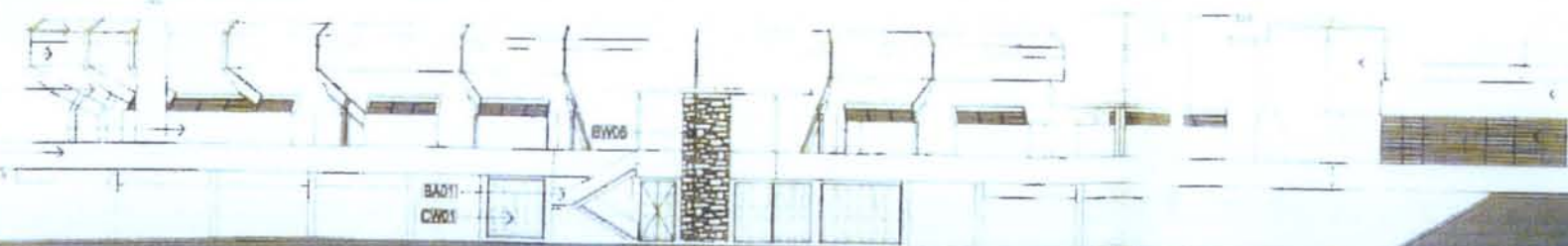


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referred to in the  
APPROVAL dated - 9 OCT 2009



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PROPERTY OWNERS.

ST01  
CH01  
CH02  
BW08  
BW02  
CH02



BA011  
CW01

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008

AS MODIFIED 26 JUN 2009

#### FINISHES LEGEND

- SE01 Galv. steel balustrade
- SE02 Rendered blockwork tiled cornice
- SE03 Face blockwork
- SE04 Stone veneer on blockwork
- SE05 Texture finished blockwork
- CE01 Coloured precast concrete boarded finish
- CE02 Precast concrete
- CE03 Pre-cast with acoustic lining
- CE04 Off-form concrete
- CE05 Court fencing
- GL01 Frameless glazing
- GL02 Aluminium framed glazing
- AL01 Aluminium louvres
- LA02 Acoustic louvres
- RT01 Tensile fabric: PTFE
- RT02 Colorbond roof sheeting
- RT04 Acoustic soffit
- SS01 Steel structure powder coated
- SS02 Steel structure painted
- SS03 Timber pattern screens

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 19 SEP 2006  
AS MODIFIED 8 MAR 2007

RF01  
RF02  
SS01  
BW02  
LA02  
CN011  
GL01(ST01)

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
Dated 29 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

Queensland  
Centre  
East Elevation

mirvac

HOK  
Sport Architecture

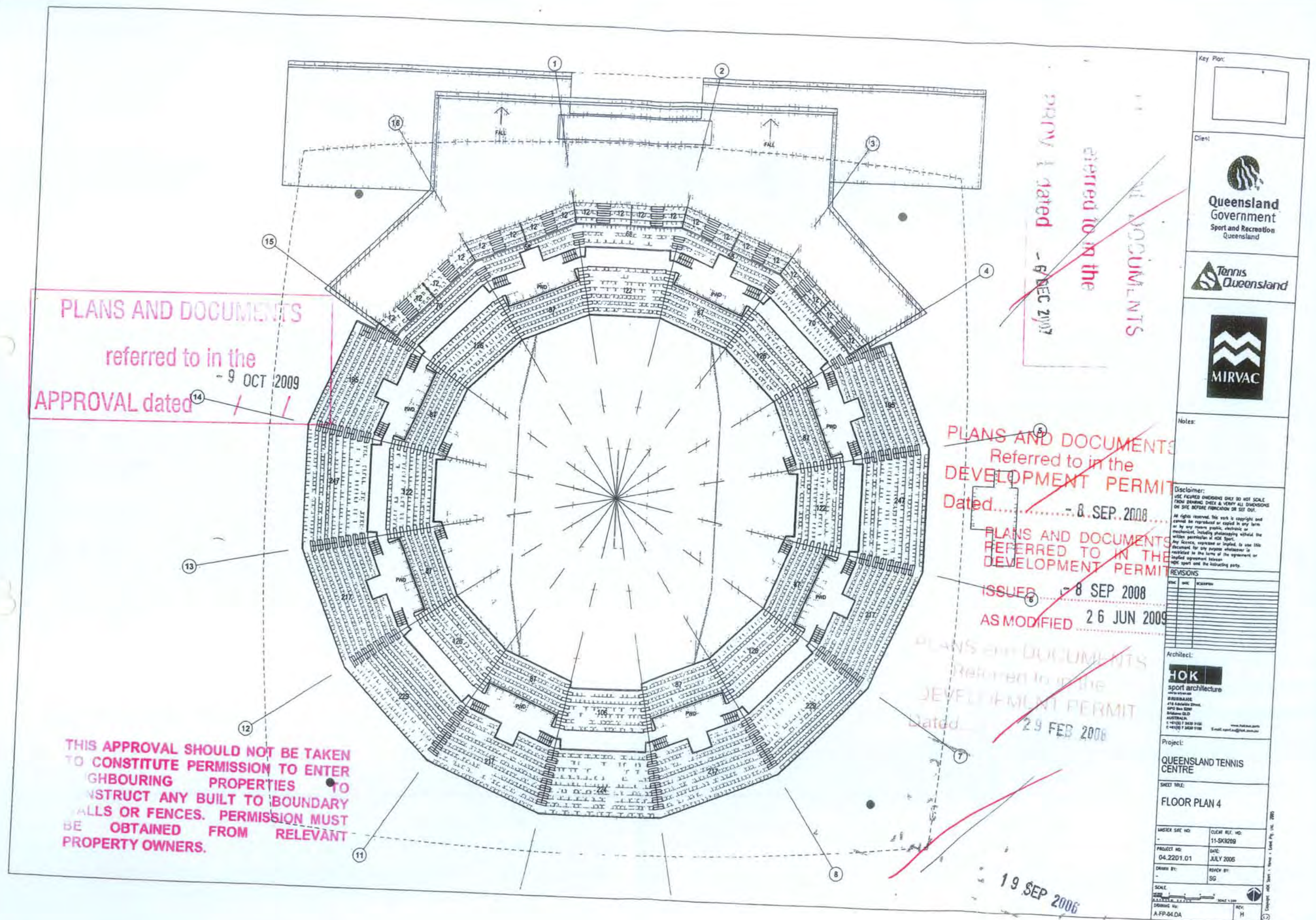
QUEENSLAND TENNIS  
CENTRE

EAST ELEVATION

PROJECT NO: 14-2201-01  
DATE: DEC 2008  
DRAWN BY: JG  
CHECKED BY: JG

SCALE: 1:100  
A-EE-EAST01 (X1)









26 JUN 2009

PLANS AND DOCUMENTS  
referred to in the  
- 9 OCT 2009  
APPROVAL dated (14) / /

2008  
JUN 2009

Key Plan:

Client:

  
**Queensland Government**  
 Sport and Recreation  
 Queensland

 **Tennis Queensland**

  
**MIRVAC**

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FROM DRAWING CHECK & VERIFY ALL DIMENSIONS  
ON SITE BEFORE FABRICATION OR SET OUT.

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**Architect:**

**HOK**

sport architecture  
an hok company

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GPO Box 906  
Melbourne QLD  
AUSTRALIA

T +61(0)7 7 800-1130  
F +61(0)7 7 800-1130

[www.hok.com.au](http://www.hok.com.au)  
E-mail: [sport.arch@hok.com.au](mailto:sport.arch@hok.com.au)

**FLOOR PLAN 3  
NON EVENT MODE**

TP-03\_NON-EVENT.DA

~~PLANS AND DOCUMENTS~~  
referred to in the  
~~APPROVAL~~ dated 19/SEP 2006

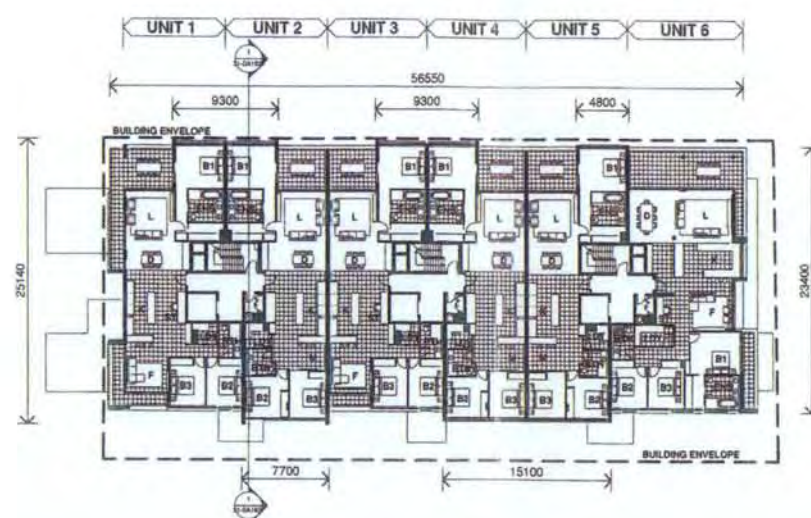






PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 29 FEB 2003

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 19 SEP 2006  
and Modified...

PLANS AND DOCUMENTS  
referred to in the  
PROV dated - 6 DEC 2007

NO.	DATE	REVISION
1	2003	Initial Design
2	2004	Revised Design
3	2005	Revised Design
4	2006	Revised Design
5	2007	Revised Design
6	2008	Revised Design
7	2009	Revised Design
8	2010	Revised Design
9	2011	Revised Design
10	2012	Revised Design
11	2013	Revised Design
12	2014	Revised Design
13	2015	Revised Design
14	2016	Revised Design
15	2017	Revised Design
16	2018	Revised Design
17	2019	Revised Design
18	2020	Revised Design
19	2021	Revised Design
20	2022	Revised Design

NO.	DATE	REVISION
1	2003	Initial Design
2	2004	Revised Design
3	2005	Revised Design
4	2006	Revised Design
5	2007	Revised Design
6	2008	Revised Design
7	2009	Revised Design
8	2010	Revised Design
9	2011	Revised Design
10	2012	Revised Design
11	2013	Revised Design
12	2014	Revised Design
13	2015	Revised Design
14	2016	Revised Design
15	2017	Revised Design
16	2018	Revised Design
17	2019	Revised Design
18	2020	Revised Design
19	2021	Revised Design
20	2022	Revised Design

TENNYSON  
REACH

hpa

mirvac

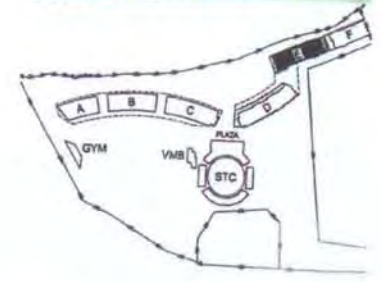
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING F - LEVEL 02-05

DATE: 19 SEP 2006  
BY: 51731  
DRAWN BY: 31-DA1012

BCC.077.1043



**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



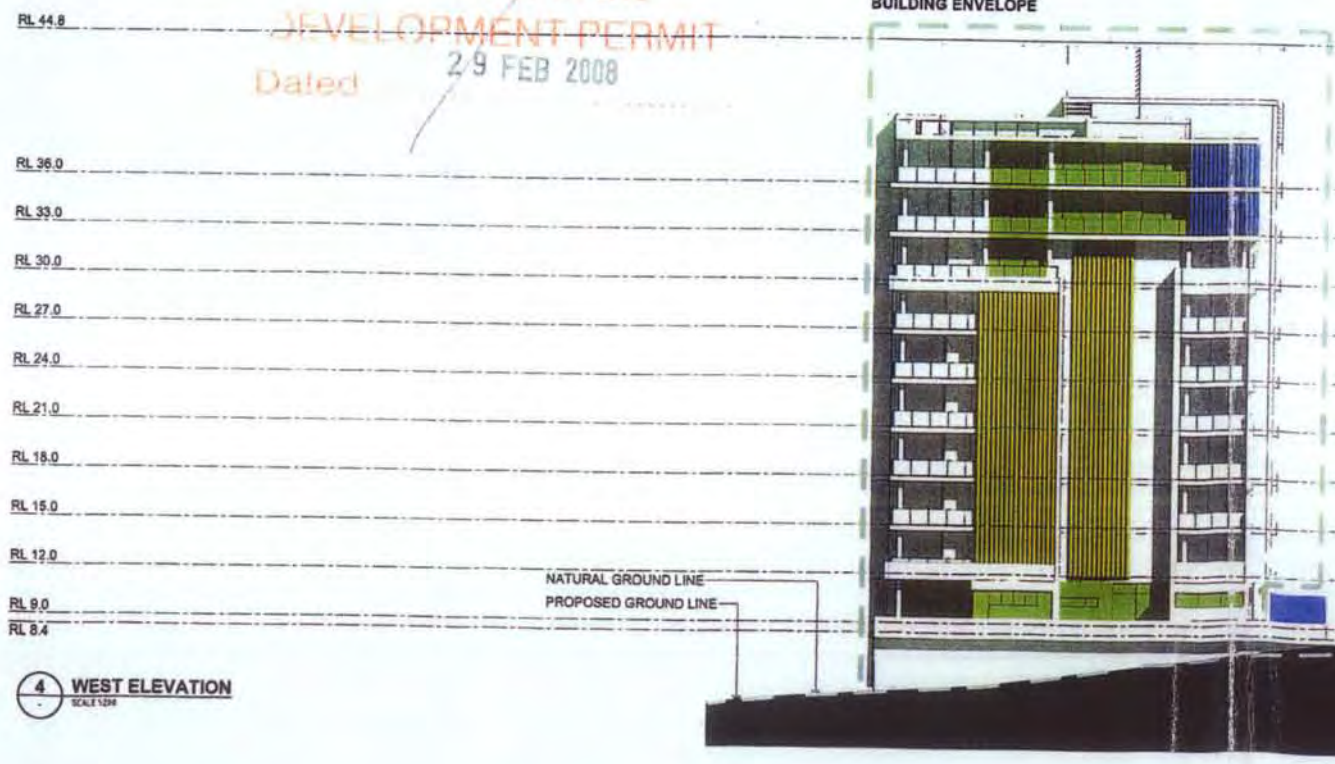
PRIVACY  
SCREENING  
SUN CONTROL  
SCREENING



**3 SOUTH ELEVATION**  
SCALE 1:200

PLANS and DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 2/9 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 8 SEP 2008



**4 WEST ELEVATION**  
SCALE 1:200

19 / SEP 2006

**SUPERSEDED**

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 6 DEC 2007

**mirvac**  
DATE: 20/10/06  
REV: 0  
AMENDMENT: DA 01/02/06 - 100%  
AMENDED DA 01/02/06 - 100%

DATE: 20/10/06  
REV: 0  
AMENDMENT:

**TENNYSON**  
REACH  
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100 Days Street  
Bentley Road  
CLD 4181 Australia  
Tel: (07) 5515 1000  
Fax: (07) 5515 1000  
www.hpa.com.au  
0011 35 002 300 100

DEVELOPMENT APPROVAL  
BALCONY SCREEN ELEVATIONS  
BUILDING E - SHEET 2 OF 2

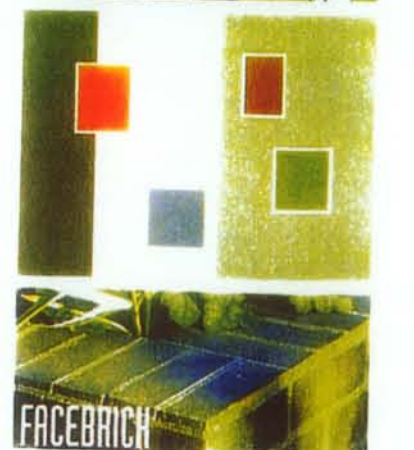
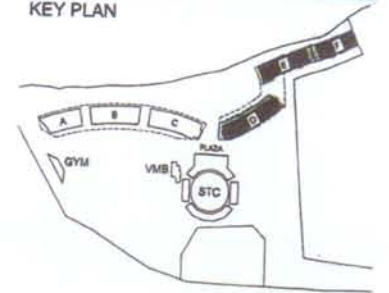


drawn: [blank]  
date: [blank]  
scale @ A1: 1:200  
job no: 51700  
drawing no: 41-DA1041  
BCC.068.0345



THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT ANY BUILD TO BOUNDARY WALLS OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS

**TENNYSON RIVERSIDE DEVELOPMENT PROPOSAL**  
KEY PLAN



scale @ A1 N.T.S.  
BCC,067.0899

1 BUILDINGS D, E & F  
VIEW FROM RIVER  
SCALE 1:100



2 BUILDINGS D, E & F  
VIEW FROM STATE TENNIS CENTRE  
SCALE 1:100

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
Dated - 29 FEB 2008

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED - 26 JUN 2009

date	rev	description
10/10/05	A	Initial Development Submission & RPA - (SPL)
10/10/05	B	REVISED TO BUILDING ENVELOPE - (SPL)
10/10/05	C	DA ISSUE - (SPL)
10/10/05	D	DA REVISED - (SPL)
10/10/05	E	AMENDED BUILDING IDENTIFICATION - (SPL)
10/10/05	F	AMENDED DA BUILDINGS D, E & F - (SPL)
10/10/05	G	REVISED BUILDING IDENTIFICATION - (SPL)
10/10/05	H	REVISED BUILDING IDENTIFICATION - (SPL)
10/10/05	I	REVISED BUILDING IDENTIFICATION - (SPL)



Mirvac Design  
architects  
interior designers

DEVELOPMENT APPROVAL  
BUILDINGS D, E & F - COVER SHEET



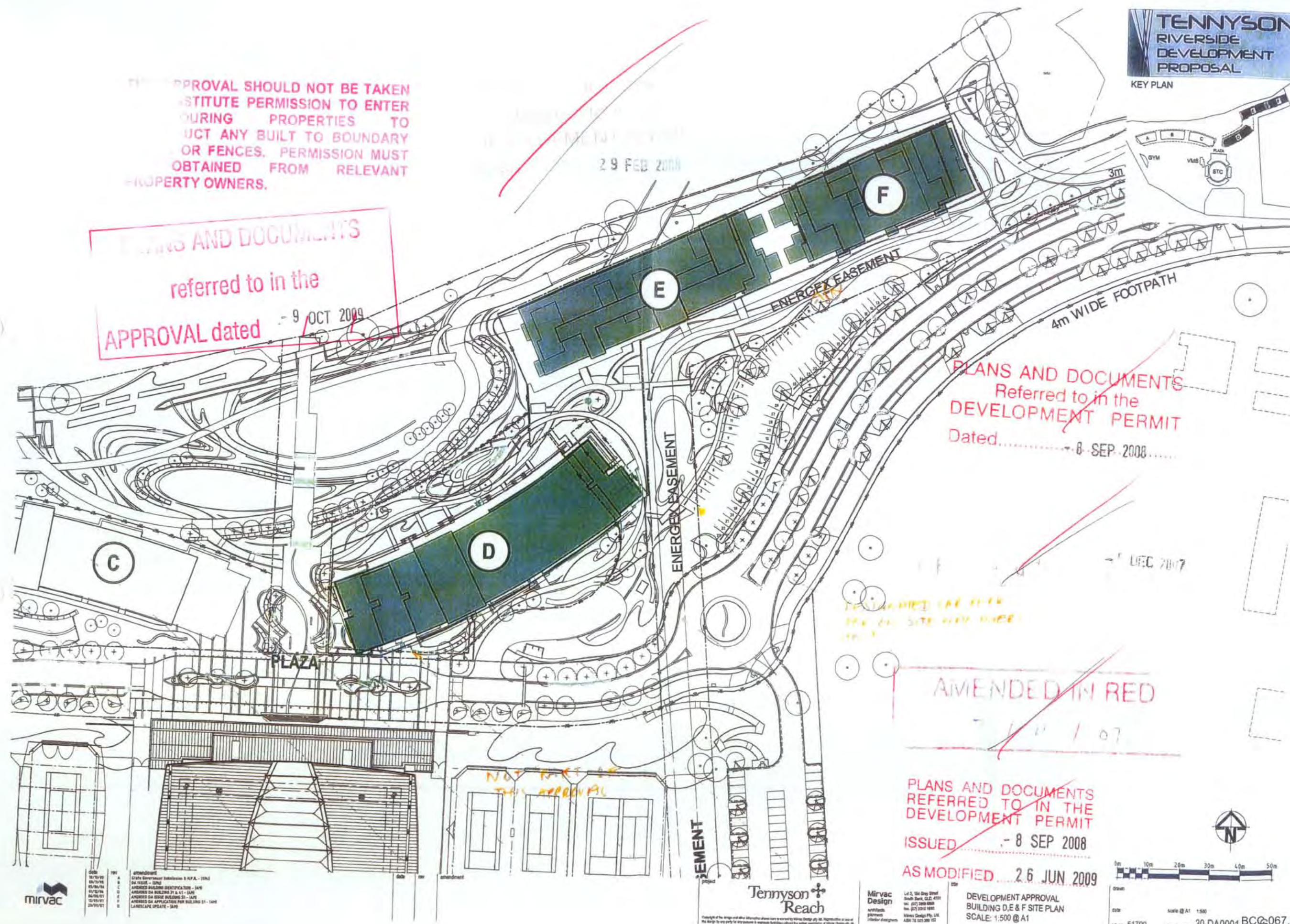
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 OR FENCES. PERMISSION MUST  
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PLANS AND DOCUMENTS  
 referred to in the  
 APPROVAL dated 9 OCT 2009

29 FEB 2008

**TENNYSON**  
 RIVERSIDE  
 DEVELOPMENT  
 PROPOSAL

KEY PLAN



PLANS AND DOCUMENTS  
 Referred to in the  
 DEVELOPMENT PERMIT  
 Dated 8 SEP 2008

DEC 2007

AMENDED IN RED

PLANS AND DOCUMENTS  
 REFERRED TO IN THE  
 DEVELOPMENT PERMIT  
 ISSUED 8 SEP 2008

AS MODIFIED 26 JUN 2009

**Tennyson**  
 Reach

**Mirvac**  
 Design  
 architects  
 planners  
 interior designers

Lot 2, 184 Deep Street  
 South Bank, QLD 4101  
 Tel: (07) 3399 8888  
 Fax: (07) 3399 1888  
 Mirvac Design Pty Ltd  
 ABN 73 000 000 000

DEVELOPMENT APPROVAL  
 BUILDING D, E & F SITE PLAN  
 SCALE: 1:500 @ A1

Scale: 1:500  
 0m 10m 20m 30m 40m 50m  
 51700

BCQ067.0878

**mirvac**

amendment  
 date  
 description  
 10/10/08 A State Government Submission S.R.P.A. - 1000  
 10/10/08 B DA REQUEST - 1000  
 10/10/08 C AMENDED BUILDING IDENTIFICATION - 1000  
 10/10/08 D AMENDED DA BUILDING 21 & 41 - 1000  
 10/10/08 E AMENDED DA BUILDING 21 - 1000  
 10/10/08 F AMENDED DA APPLICATION FOR BUILDING 21 - 1000  
 20/10/09 G LANDSCAPE UPDATE - 1000

NOT PART OF THIS APPROVAL

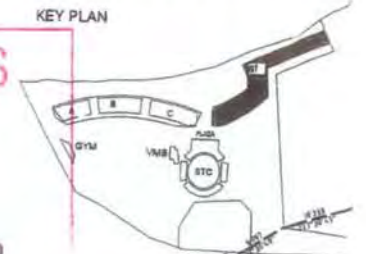


REFER FOLLOWING DRAWINGS FOR  
BASEMENT DETAIL INFORMATION

BASEMENT 1	PART A	30-DA1007
BASEMENT 1	PART B	30-DA1008
BASEMENT 2	PART A	30-DA1009
BASEMENT 2	PART B	30-DA1010

**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN



AMENDED IN RED

PLANS AND DOCUMENTS

referred to in the

APPROVAL dated - 9/OCT 2009

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

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PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008  
AS MODIFIED - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008

AS MODIFIED 26 JUN 2009

1 Basement 1 - DA PLAN  
Scale 1:500

REV	DATE	DESCRIPTION
1	10/10/05	DA ISSUE - (DA)
2	08/10/06	AMENDED DA BUILDING D, E, F (DA)
3	07/10/06	AMENDED DA BUILDING D, E, F (DA)
4	26/10/07	AMENDED DA BUILDING D, E, F (DA)
5	07/09/07	AMENDED DA APPLICATION FOR BUILDING D, E, F (DA)
6	12/09/07	AMENDED DA APPLICATION FOR BUILDING D, E, F (DA)
7	14/09/07	AMENDED DA APPLICATION FOR BUILDING D, E, F (DA)

REV	DATE	DESCRIPTION
1	20/09/07	AMENDED DA APPLICATION FOR BUILDING D, E, F (DA)

project  
**Tennyson Reach**

architect  
**Mirvac Design**

client  
**Mirvac**

site  
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D, E, F BASEMENT 1

drawn: Author  
checked: Checker  
job no: 517  
date: November 06  
scale: As Indicated  
drawing no: 30-DA1005

BCC.067.0884

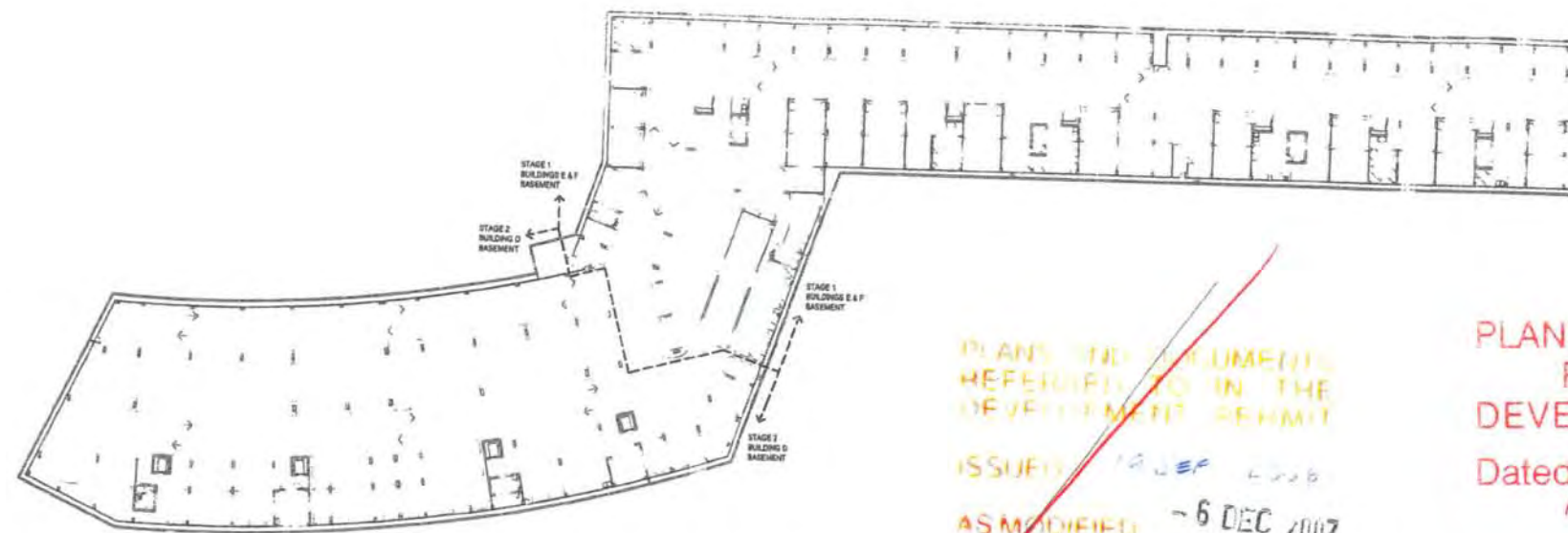


REFER FOLLOWING DRAWINGS FOR  
BASEMENT DETAIL INFORMATION

BASEMENT 1	PART A	30-DA1007
BASEMENT 1	PART B	30-DA1008
BASEMENT 2	PART A	30-DA1009
BASEMENT 2	PART B	30-DA1010

**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED 19 SEP 2008  
AS MODIFIED 6 DEC 2007

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REFERRED TO IN THE  
DEVELOPMENT PERMIT  
Dated 8 SEP 2008

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PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009

1 Basement 2 - DA PLAN  
Scale 1:500

REV	DATE	AMENDMENT
1	18/09/08	State Government Submission & N.P.3 - (S)
2	20/10/08	DA ISSUE - (S)
3	20/10/08	AMENDED BUILDING IDENTIFICATION - (S)
4	21/10/08	AMENDED DA BUILDING E1 & E2 - (S)
5	25/07/08	AMENDED DA ISSUE BUILDING E1 - (S)
6	07/08/08	ISSUED FOR BUILDING E1 ACC - (S)
7	10/08/08	AMENDED DA APPLICATION FOR BUILDING E1 - (S)
8	14/08/08	AMENDED DA APPLICATION FOR BUILDING E1 - (S)

REV	DATE	AMENDMENT

project  
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architect  
**Mirvac Design**  
architects  
planners  
interior designers

+1 (61) 02 959 1100  
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St. George's Road  
St. George's NSW 2216  
www.mirvac.com.au  
info@mirvac.com.au

client  
**mirvac**

file:  
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D, E, F BASEMENT 2

drawn Author  
approved Cheddar

job no: 517  
date: November 08  
scale: 1:500

drawing no: 30-DA1006

As indicated

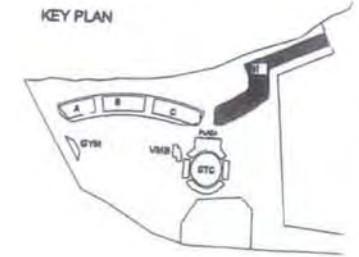
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GROSS FLOOR AREA - 47.0m<sup>2</sup>

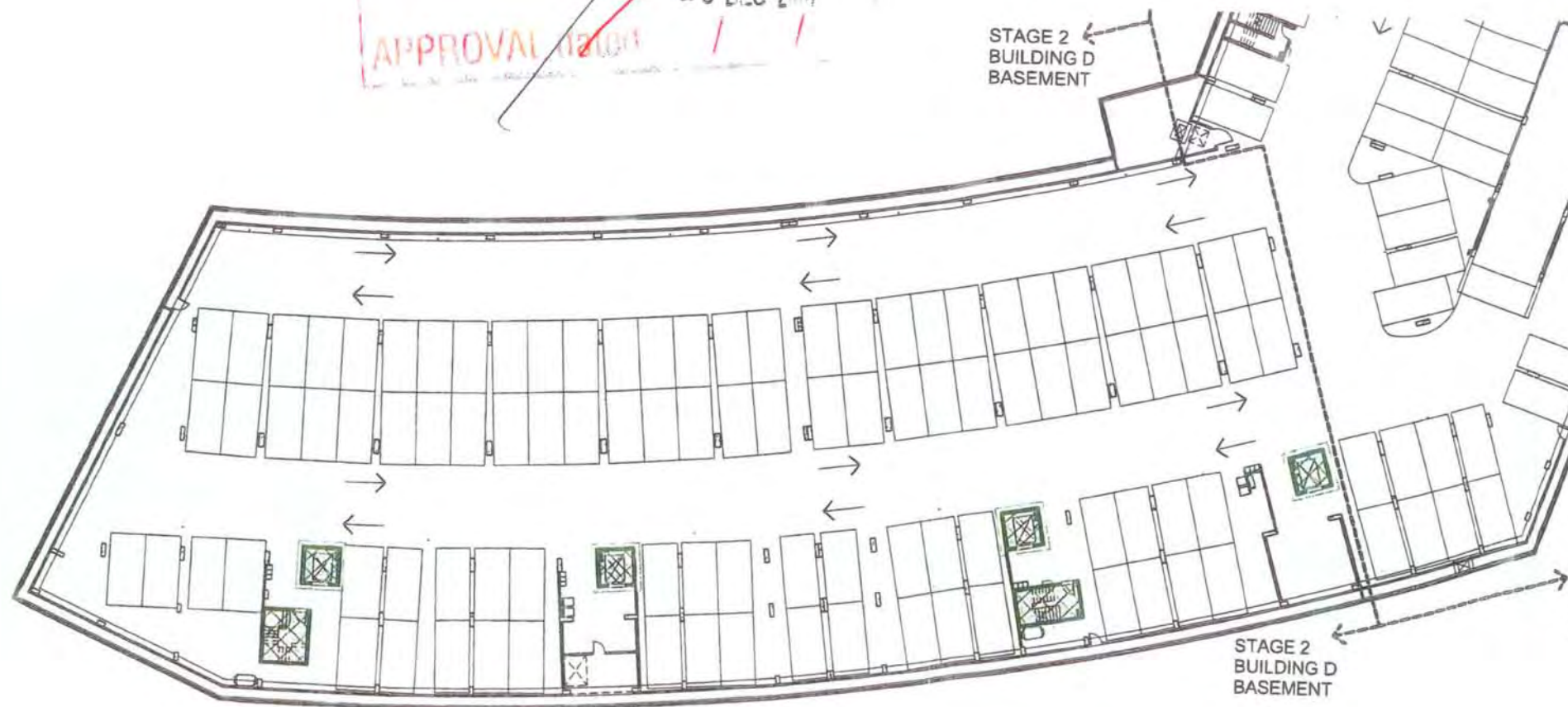
**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN



PLANS AND DOCUMENTS  
referred to in the  
- 6 DEC 2007  
APPROVAL dated / /

Date: 29 FEB 2008



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

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PROPERTY OWNERS.

PLANS AND DOCUMENTS  
referred to in the  
- 9 OCT 2009  
APPROVAL dated / /

REV	DATE	AMENDMENT
A	08/08/07	AMENDED ON APPLICATION FOR BUILDING E - 1/08/07

REV	DATE	AMENDMENT

project  
**Tennyson+Reach**

architect  
**Mirvac Design**

14/2 154 Glen Street  
South Bank, QLD 4101  
tel: (07) 3400 0000  
fax: (07) 3400 1000  
www.mirvac.com.au

client  
**mirvac**

title  
GROSS FLOOR AREA CALCULATIONS  
BUILDING D, E, F BASEMENT 2

drawn: Author

approved: Checker

job no: 517

date: 10/08/07

scale: A1 1:200

body no: 30

drawing no: 30-DA1012 rev A



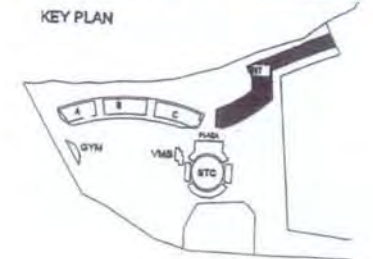
GROSS FLOOR AREA - 459.0m<sup>2</sup>

~~PLANS AND DOCUMENTS  
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PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

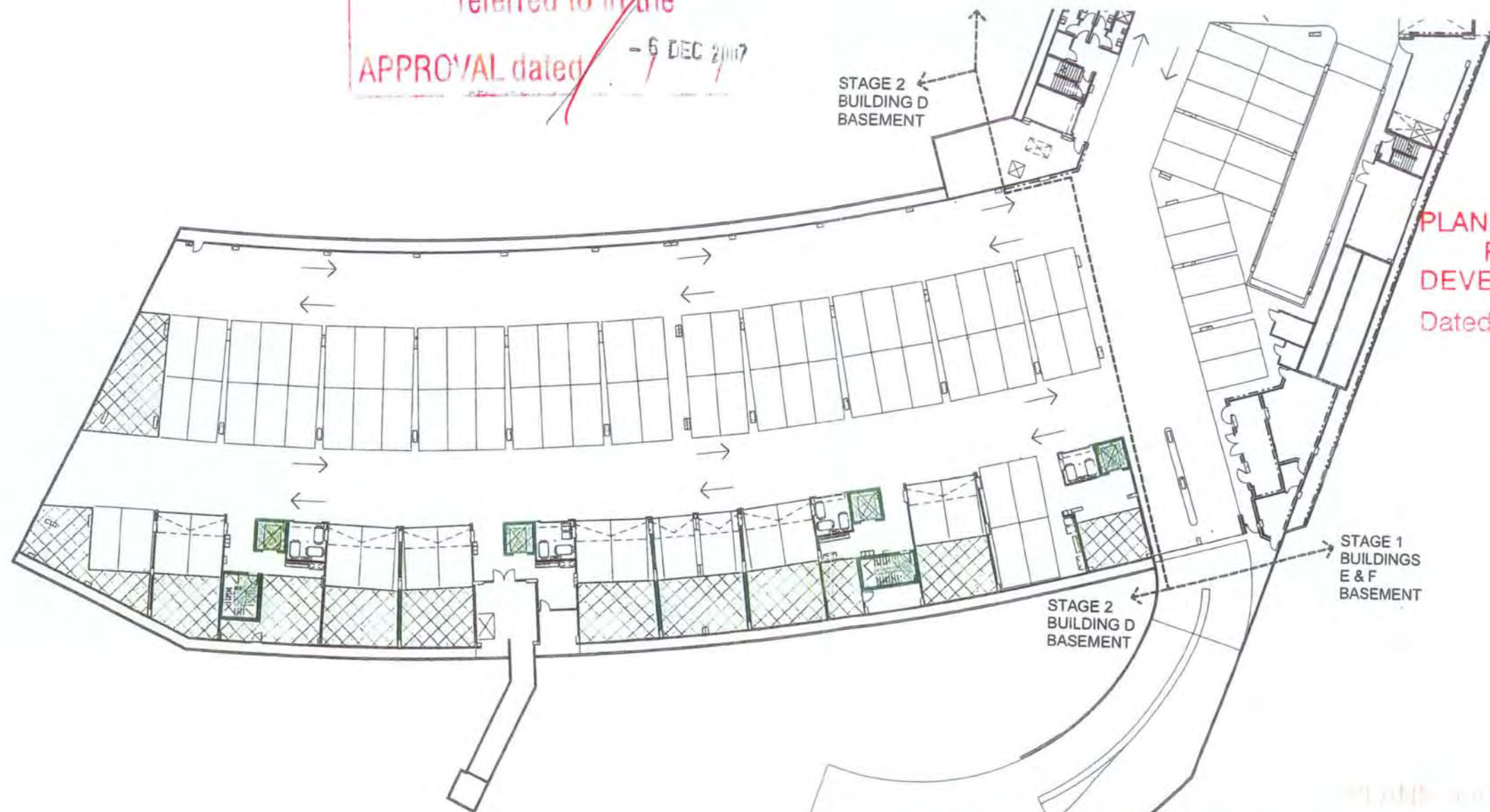


KEY PLAN



~~PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008~~

~~PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009~~



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WALLS OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

~~PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 29 FEB 2008~~

rev: A  
date: 10/09/07  
amendment: AMENDED EA APPLICATION FOR BUILDING ST - (2) AREA UPDATE - VM

rev: A  
date: 10/09/07  
amendment: AMENDED EA APPLICATION FOR BUILDING ST - (2) AREA UPDATE - VM

project  
Tennyson  
Reach

architect  
Mirvac  
Design

client  
Mirvac  
Development Pty Ltd

client  
Mirvac

title  
GROSS FLOOR AREA CALCS  
BUILDING D, E, F BASEMENT 1

drawn: CAS  
approved: DB  
job no: 517  
drawing no: 30-DA1011

date: September 07  
scale: @ A1: 1:200  
drawing no: 30-DA1011

BCC:067.0931



~~PLANS AND DOCUMENTS~~  
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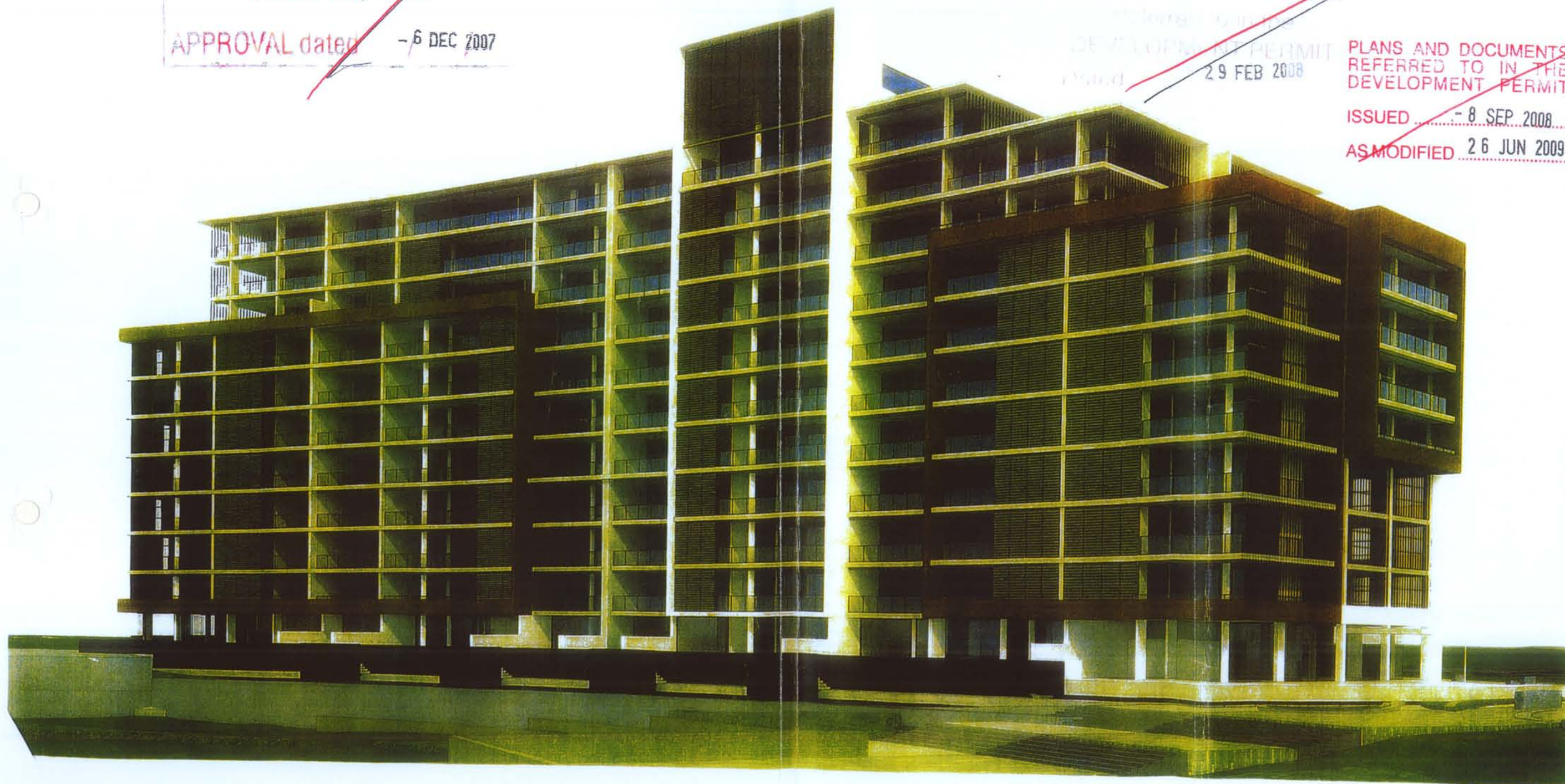
PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

THIS APPROVAL SHOULD NOT BE TAKEN  
TO CONSTITUTE PERMISSION TO ENTER  
NEIGHBOURING PROPERTIES TO  
CONSTRUCT ANY BUILDING OR  
WALLS OR FENCES. PERMISSION MUST  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

~~PLANS AND DOCUMENTS~~  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

~~PLANS AND DOCUMENTS~~  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 29 FEB 2008

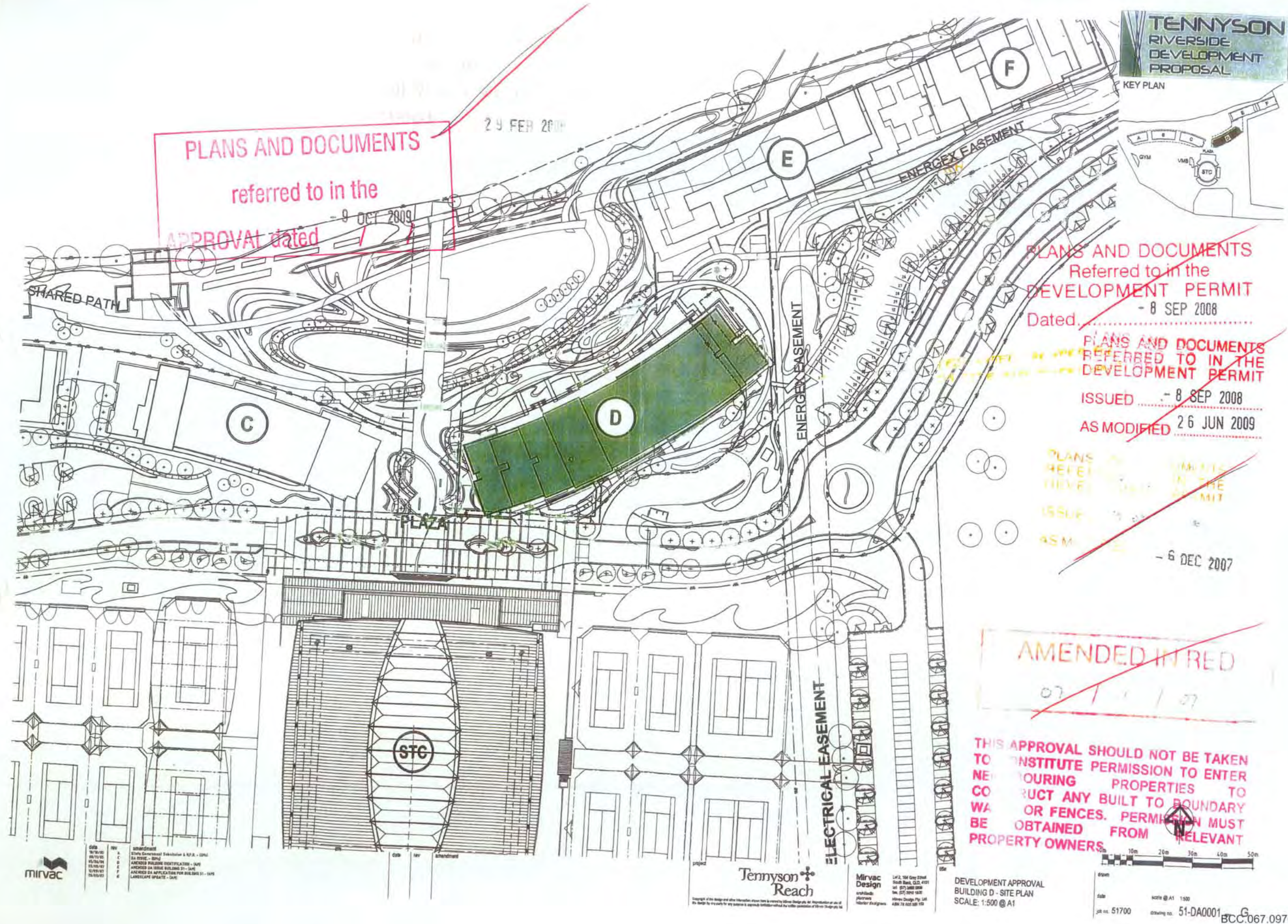
~~PLANS AND DOCUMENTS~~  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



TENNYSON REACH - NORTHERN ELEVATION AS VIEWED  
FROM BRISBANE RIVER.

Job No. A001888562  
Plan No. DA-01.  
Date - 9.11.07







**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN



29 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED 19 SEP 2006

AS MODIFIED 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED 8 SEP 2008

AS MODIFIED 26 SEP 2009

PLANS AND DOCUMENTS  
referred to in the

APPROVAL dated

9 OCT 2009

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CONSTRUCT ANY BUILDING OR  
WALLS OR FENCES OR PERMITS  
BE OBTAINED FROM RELEVANT  
PROPERTY AUTHORITIES.

project  
**Tennyson Reach**

architect  
**Mirvac Design**

client  
**Lot 2 128 West Street  
Sydney NSW 1585  
Lot 1 127 West Street  
Sydney NSW 1585  
Lot 3 129 West Street  
Sydney NSW 1585**

client  
**mirvac**

the  
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 01

drawn: Author  
approved: Checker

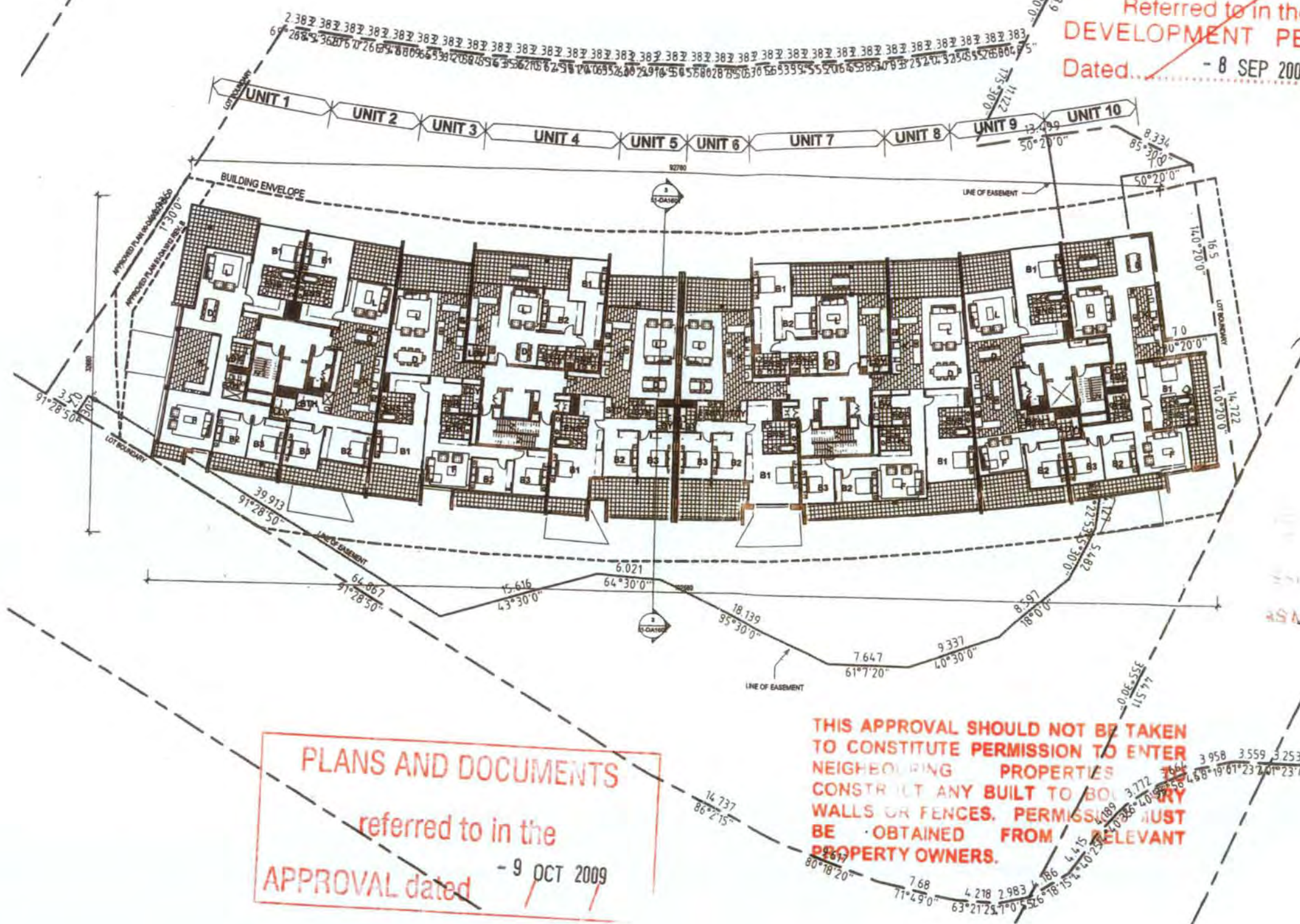
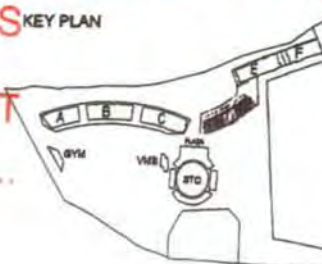
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bldg no: 51 drawing no: 51-DA1011.mch

0 5 10 15 20 m



**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

**PLANS AND DOCUMENTS**  
Referred to in the  
**DEVELOPMENT PERMIT**  
Dated... - 8 SEP 2008



**PLANS AND DOCUMENTS**  
referred to in the  
**APPROVAL** dated - 9 OCT 2009

**PLANS AND DOCUMENTS**  
REFERRED TO IN THE  
**DEVELOPMENT PERMIT**  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

REV.	DATE	AMENDMENT
1	08/09/08	Initial Design & Construction (P&S)
2	08/09/08	Initial Design & Construction (P&S)
3	08/09/08	Initial Design & Construction (P&S)
4	08/09/08	Initial Design & Construction (P&S)
5	08/09/08	Initial Design & Construction (P&S)
6	08/09/08	Initial Design & Construction (P&S)
7	08/09/08	Initial Design & Construction (P&S)
8	08/09/08	Initial Design & Construction (P&S)
9	08/09/08	Initial Design & Construction (P&S)
10	08/09/08	Initial Design & Construction (P&S)

REV.	DATE	AMENDMENT
1	08/09/08	Initial Design & Construction (P&S)
2	08/09/08	Initial Design & Construction (P&S)
3	08/09/08	Initial Design & Construction (P&S)
4	08/09/08	Initial Design & Construction (P&S)
5	08/09/08	Initial Design & Construction (P&S)
6	08/09/08	Initial Design & Construction (P&S)
7	08/09/08	Initial Design & Construction (P&S)
8	08/09/08	Initial Design & Construction (P&S)
9	08/09/08	Initial Design & Construction (P&S)
10	08/09/08	Initial Design & Construction (P&S)

**Tennyson Reach**  
Architects  
100/101 Stirling Street  
Melbourne, VIC 3000  
Tel: (03) 9412 1000  
Fax: (03) 9412 1001  
www.tennysonreach.com.au

**Mirvac**  
Development  
100/101 Stirling Street  
Melbourne, VIC 3000  
Tel: (03) 9412 1000  
Fax: (03) 9412 1001  
www.mirvac.com.au

**Mirvac**  
Development  
100/101 Stirling Street  
Melbourne, VIC 3000  
Tel: (03) 9412 1000  
Fax: (03) 9412 1001  
www.mirvac.com.au

**DEVELOPMENT APPROVAL**  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 02



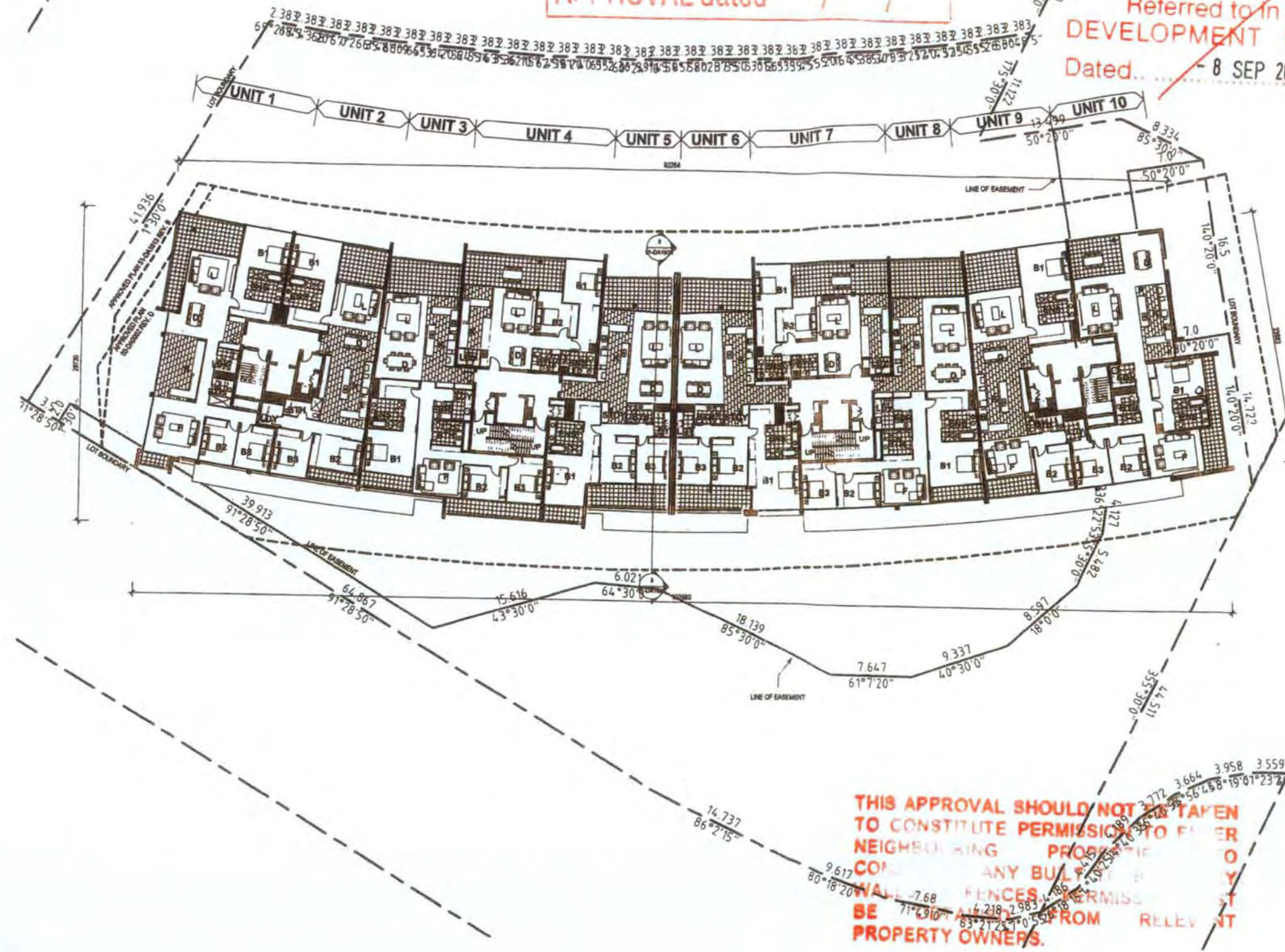
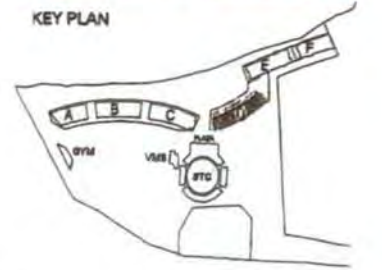
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Approved: Checker  
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Date: 25/07/07  
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Drawing no: 51-DA1012-G



PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



29 FEB 2001

ISSUED  
AS MODIFIED - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

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CONSTRUCT ANY BUILDING OR  
WALL OR FENCE OR PERMIT  
BE MAINTAINED FROM RELEVANT  
PROPERTY OWNERS.



REV	DATE	AMENDMENT
A	18/09/08	State Government Subsidies & N.P.R. (2008)
B	01/10/08	ON ISSUE - (2008)
C	01/10/08	AMENDMENT TO (2008)
D	01/10/08	AMENDMENT TO (2008)
E	01/10/08	AMENDMENT TO (2008)
F	01/10/08	AMENDMENT TO (2008)
G	01/10/08	AMENDMENT TO (2008)
H	01/10/08	AMENDMENT TO (2008)
I	01/10/08	AMENDMENT TO (2008)
J	01/10/08	AMENDMENT TO (2008)
K	01/10/08	AMENDMENT TO (2008)
L	01/10/08	AMENDMENT TO (2008)
M	01/10/08	AMENDMENT TO (2008)
N	01/10/08	AMENDMENT TO (2008)
O	01/10/08	AMENDMENT TO (2008)
P	01/10/08	AMENDMENT TO (2008)
Q	01/10/08	AMENDMENT TO (2008)
R	01/10/08	AMENDMENT TO (2008)
S	01/10/08	AMENDMENT TO (2008)
T	01/10/08	AMENDMENT TO (2008)
U	01/10/08	AMENDMENT TO (2008)
V	01/10/08	AMENDMENT TO (2008)
W	01/10/08	AMENDMENT TO (2008)
X	01/10/08	AMENDMENT TO (2008)
Y	01/10/08	AMENDMENT TO (2008)
Z	01/10/08	AMENDMENT TO (2008)

REV	DATE	AMENDMENT
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2	01/10/08	AMENDMENT TO (2008)
3	01/10/08	AMENDMENT TO (2008)
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8	01/10/08	AMENDMENT TO (2008)
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18	01/10/08	AMENDMENT TO (2008)
19	01/10/08	AMENDMENT TO (2008)
20	01/10/08	AMENDMENT TO (2008)

project: Tennyson Reach

architect: Mirvac Design

client: Mirvac

title: DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 03

drawn: 517	author: 517	date: 26/07/07	scale: 1:200
checked: 51	approved: 51	checked: 51	checked: 51
job no: 517	date: 26/07/07	scale: 1:200	checked: 51
job no: 51	checked: 51	checked: 51	checked: 51



## PLANS AND DOCUMENTS

referred to in the

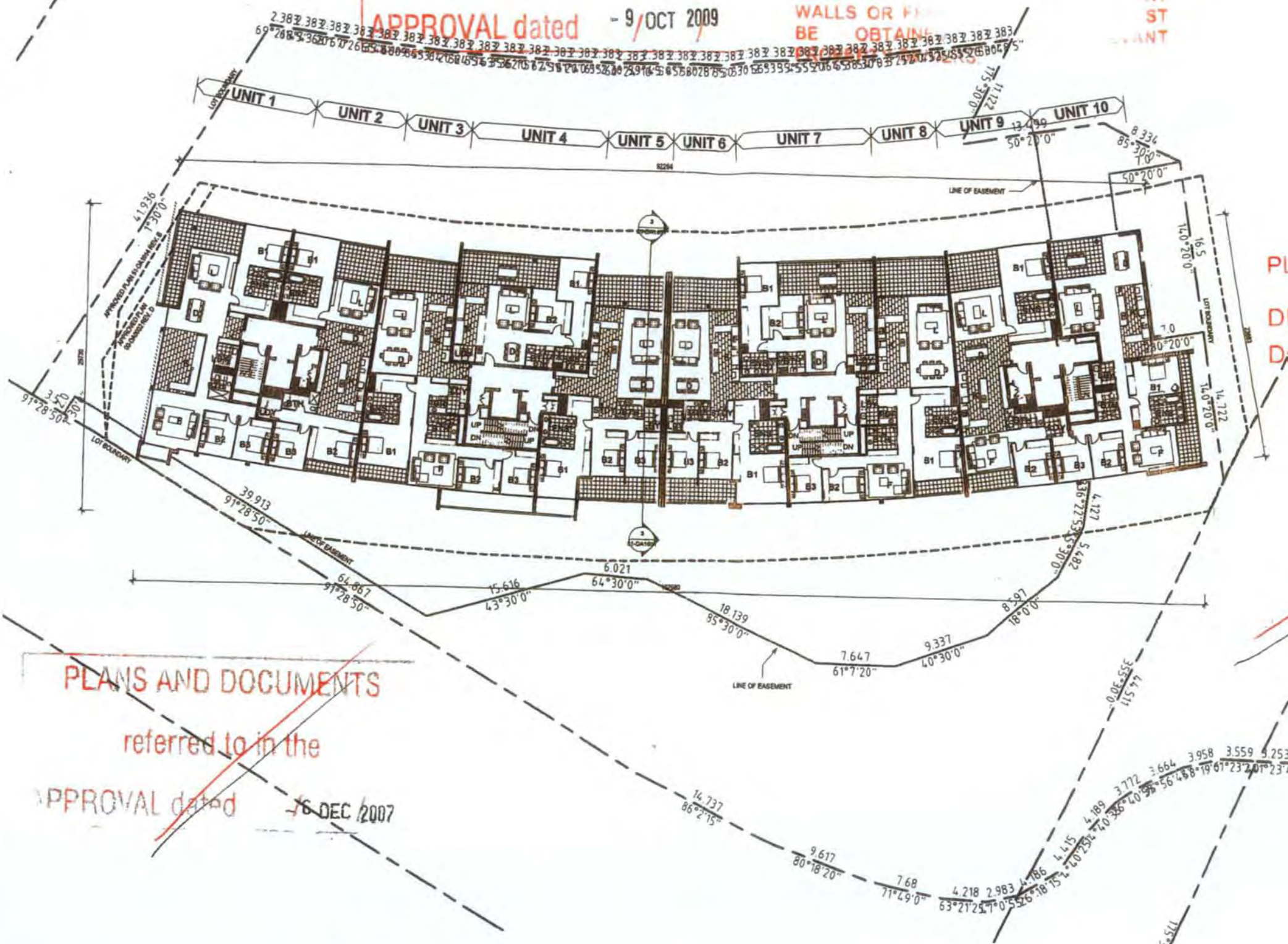
APPROVAL dated - 9/OCT 2009

THIS APPROVAL  
TO CONSTITUTE  
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CONSTRUCT  
WALLS OR FENCE  
BE OBTAINED

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**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008

PLANS AND DOCUMENTS

referred to in the

APPROVAL dated - 16 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008

AS MODIFIED 26 JUN 2009



REV.	DATE	AMENDMENT
1	16/12/07	Initial Design & Approval
2	09/10/09	Final Design & Approval

REV.	DATE	AMENDMENT
1	16/12/07	Initial Design & Approval
2	09/10/09	Final Design & Approval

project  
**Tennyson Reach**

architect  
**Mirvac Design**

client  
**Mirvac**

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 04

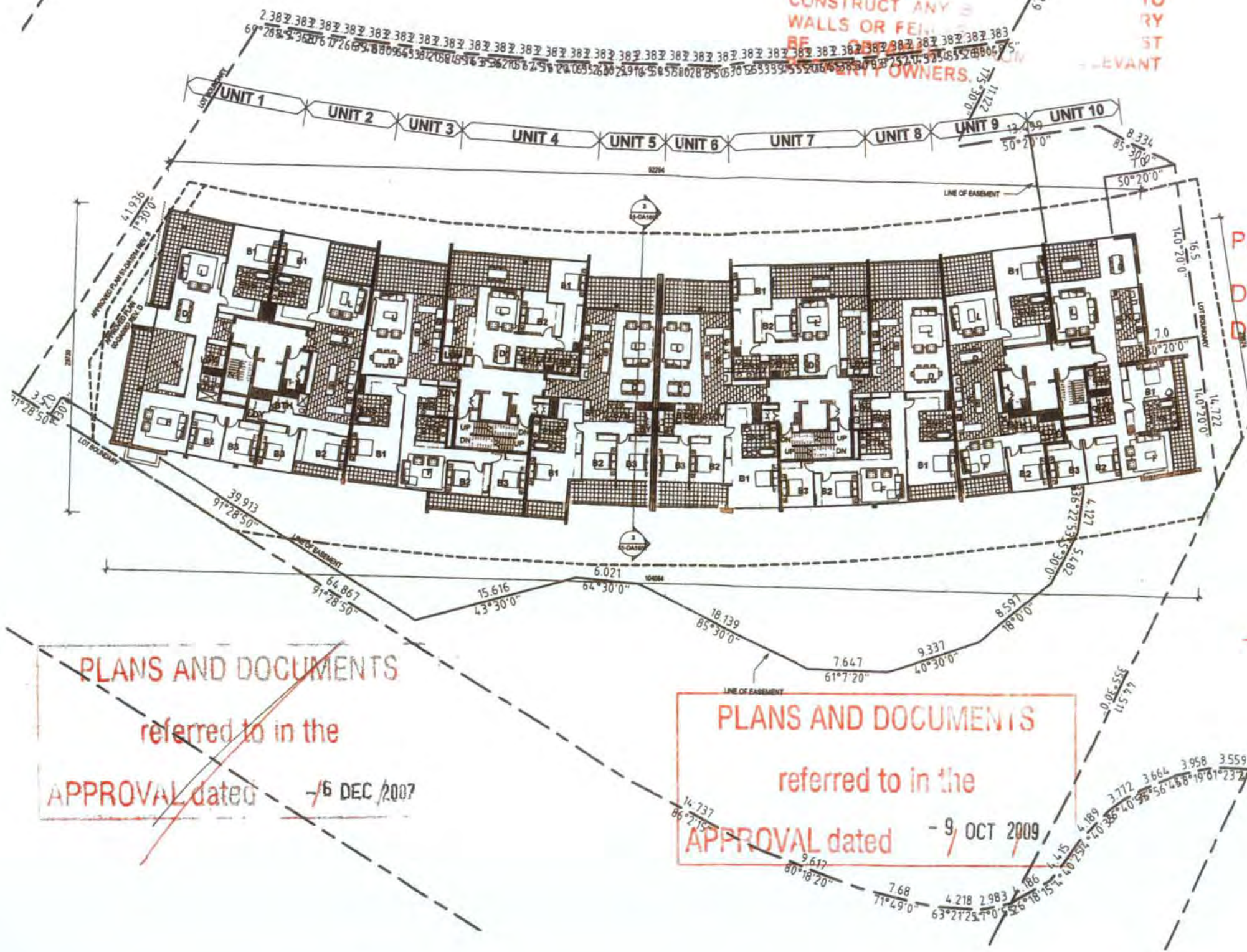
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approved: Checker  
job no: 517  
date: 28/07/07  
scale: 1:200  
drawing no: 51-DA1014-G



**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL



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CONSTRUCT ANY  
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BE RESPONSIBLE FOR  
PROPERTY OWNERS.



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Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

29 FEB 2008  
PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

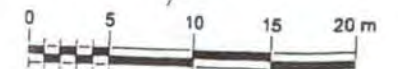
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A	06 DEC 2007	AMENDED DA APPLICATION - (DA)
B	09 OCT 2009	AMENDED BUILDING BY DA APPLICATION - (DA)
C		DETAIL ADDED - (DA)

REV	DATE	REVISION

project: **Tennyson Reach**  
architect: **Mirvac Design**  
client: **Mirvac**

Lot 2 101 Grey Street  
North Sydney, NSW, 1585  
Tel: 02 955 1000  
Fax: 02 955 1001  
Email: info@mirvac.com.au  
www.mirvac.com.au

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 05



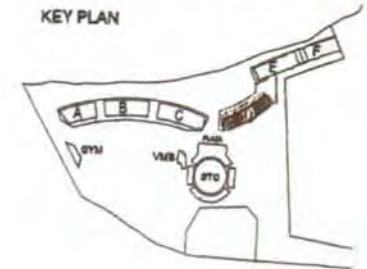
drawn: Author  
approved: Checker  
job no: 517  
date: 28/07/07  
scale @ A1: 1:200  
drawing no: 51-DA1015-D



THIS APPROVAL SHOULD NOT BE TAKEN  
TO CONSTITUTE AN ENDORSEMENT OF THE  
NEIGHBOURHOOD OR TO ENTER INTO A  
CONTRACT OR TO BE OBTAINED BY ANY  
WALLS OR FENCES OR TO BE OBTAINED BY ANY  
BE OBTAINED BY ANY WALLS OR FENCES OR TO BE OBTAINED BY ANY



KEY PLAN



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

29 FEB 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

REV.	DATE	AMENDMENT
01	01/01/07	AMENDED DA WERE BUILDING B1 - (P4)
02	01/01/07	AMENDED DA APPLICATION - (P4)
03	01/01/07	AMENDED BUILDING B1 DA APPLICATION - (P4)
04	01/01/07	DETAIL ADDED - (P4)

REV.	DATE	AMENDMENT
01	01/01/07	AMENDED DA WERE BUILDING B1 - (P4)
02	01/01/07	AMENDED DA APPLICATION - (P4)
03	01/01/07	AMENDED BUILDING B1 DA APPLICATION - (P4)
04	01/01/07	DETAIL ADDED - (P4)

project  
**Tennyson Reach**  
Design of the building and site infrastructure is the responsibility of the client. The Architect is not responsible for the design of the building or site infrastructure.

architect  
**Mirvac Design**  
architect  
architect  
architect

client  
**Mirvac**  
client  
client  
client

client  
**Mirvac**  
client  
client  
client

client  
**DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 08**



drawn: Author  
approved: Checker  
job no: 517  
date: 26/07/07  
scale: 1:200  
bldg no: 51  
drawing no: 51-DA1016-D

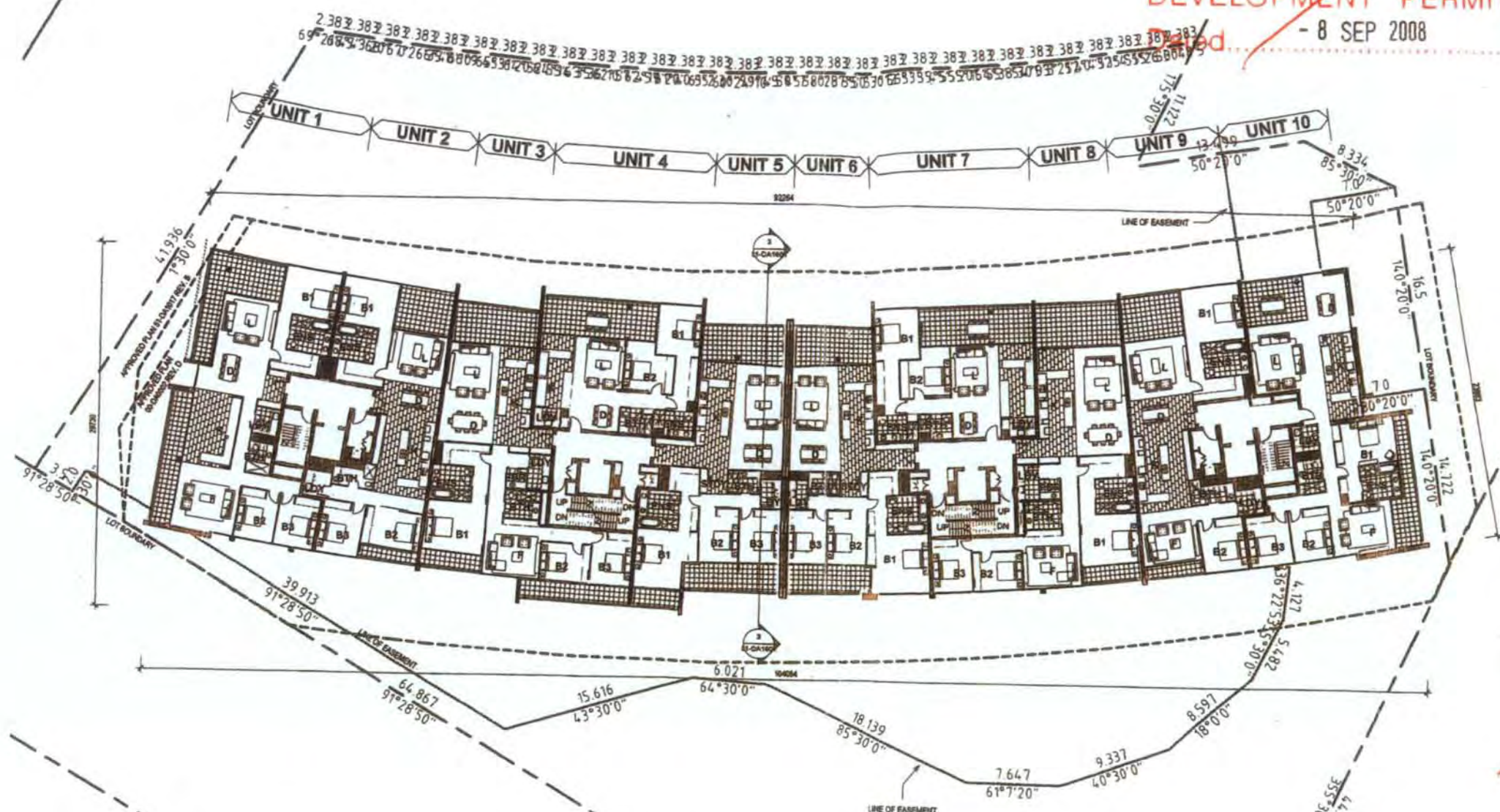
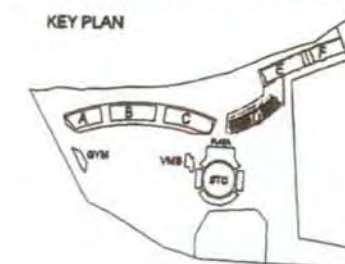


PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT

- 8 SEP 2008



KEY PLAN



29 FEB 2008

MODIFIED IN THE PERMIT

2006

AS MODIFIED - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008

AS MODIFIED 26 JUN 2009

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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INSTALL ANY BUILT TO ANY  
WALLS, FENCES, PERMISSIBLE  
BE OBTAINED FROM RELEVANT  
PROPERTY OWNERS.

REV.	DATE	AMENDMENT
1	10/10/08	Site Government Subdivision & R.P.R. - (004)
2	28/11/08	DA 10002 - (004)
3	09/08/09	AREA TEST ADDED - (004)
4	10/08/09	AMENDED DA 10002 - (004)
5	10/08/09	AMENDED DA 10002 - (004)
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10	10/08/09	AMENDED DA 10002 - (004)

REV.	DATE	AMENDMENT
1		
2		
3		

project  
**Tennyson Reach**

architect  
**Mirvac Design**

client  
**Mirvac**

file  
**DEVELOPMENT APPROVAL**

general arrangement plan

building D - level 07

author  
**Author**

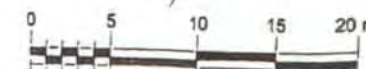
approved  
**Checker**

job no  
**517**

date  
**28/07/07**

scale  
**@ A1: 1:200**

drawing no  
**51-DA1017 rev G**

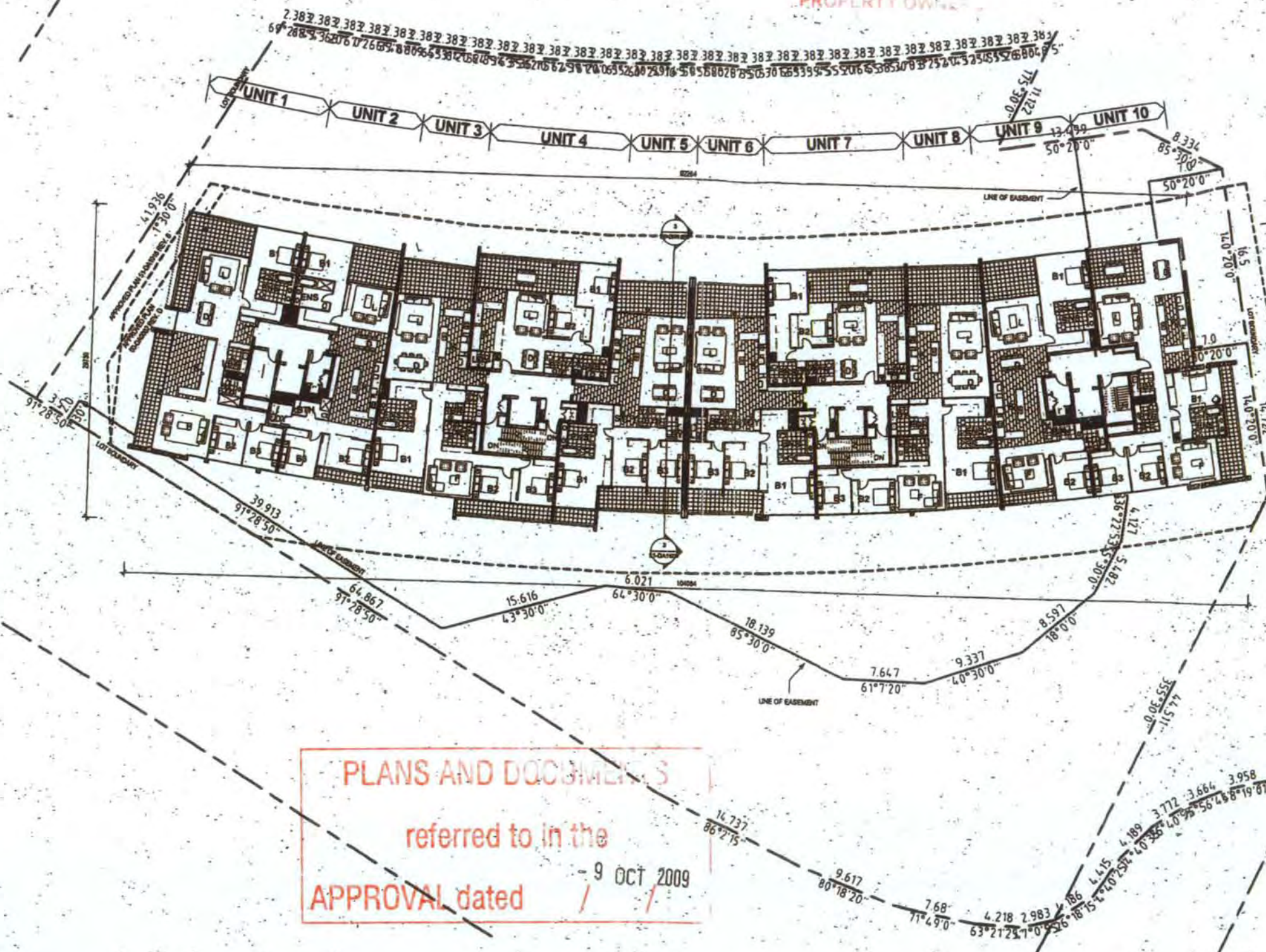
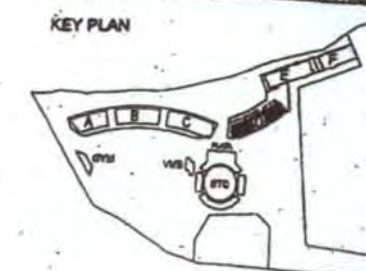




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NEEDS  
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BE  
PROPERTY OWNERS



KEY PLAN



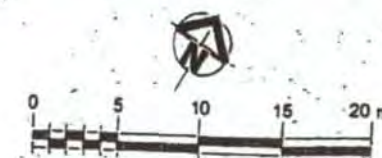
PLANS and DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 2.9 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 19 SEP 2006  
AS MODIFIED 6 DEC 2007

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009



REV	DATE	REVISION
1	01/10/08	Rev Development Application & A/P/A - (204)
2	01/10/08	Rev Development Application & A/P/A - (204)
3	01/10/08	Rev Development Application & A/P/A - (204)
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5	01/10/08	Rev Development Application & A/P/A - (204)
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10	01/10/08	Rev Development Application & A/P/A - (204)

Tennysen  
Reach

Mirvac  
Design

Mirvac  
Design

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 08

Author  
517  
51  
51-DA1018-G  
BCC:058.5979







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NEIGHBOURING TO  
CONSTRUCT ANY HIGH RISE  
WALLS OR FENCES. ANY  
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PROPERTY OWNERS.



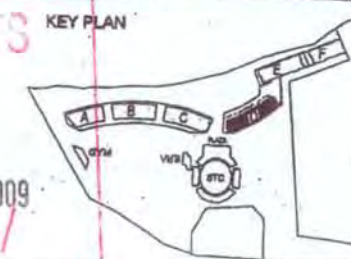
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referred to in the

APPROVAL dated

- 9 OCT 2009

KEY PLAN

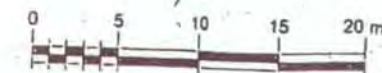


PLANS and DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated: 29 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated: 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 19 SEP 2006  
AS MODIFIED - 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009



drawn: 517  
approved: 51  
author: 517  
checked: 51  
date: 28/07/07  
scale: @ A1: 1:200  
drawing no: 51-DA-100C.067.0974

project: Tennyson Reach

architect: Mirvac Design

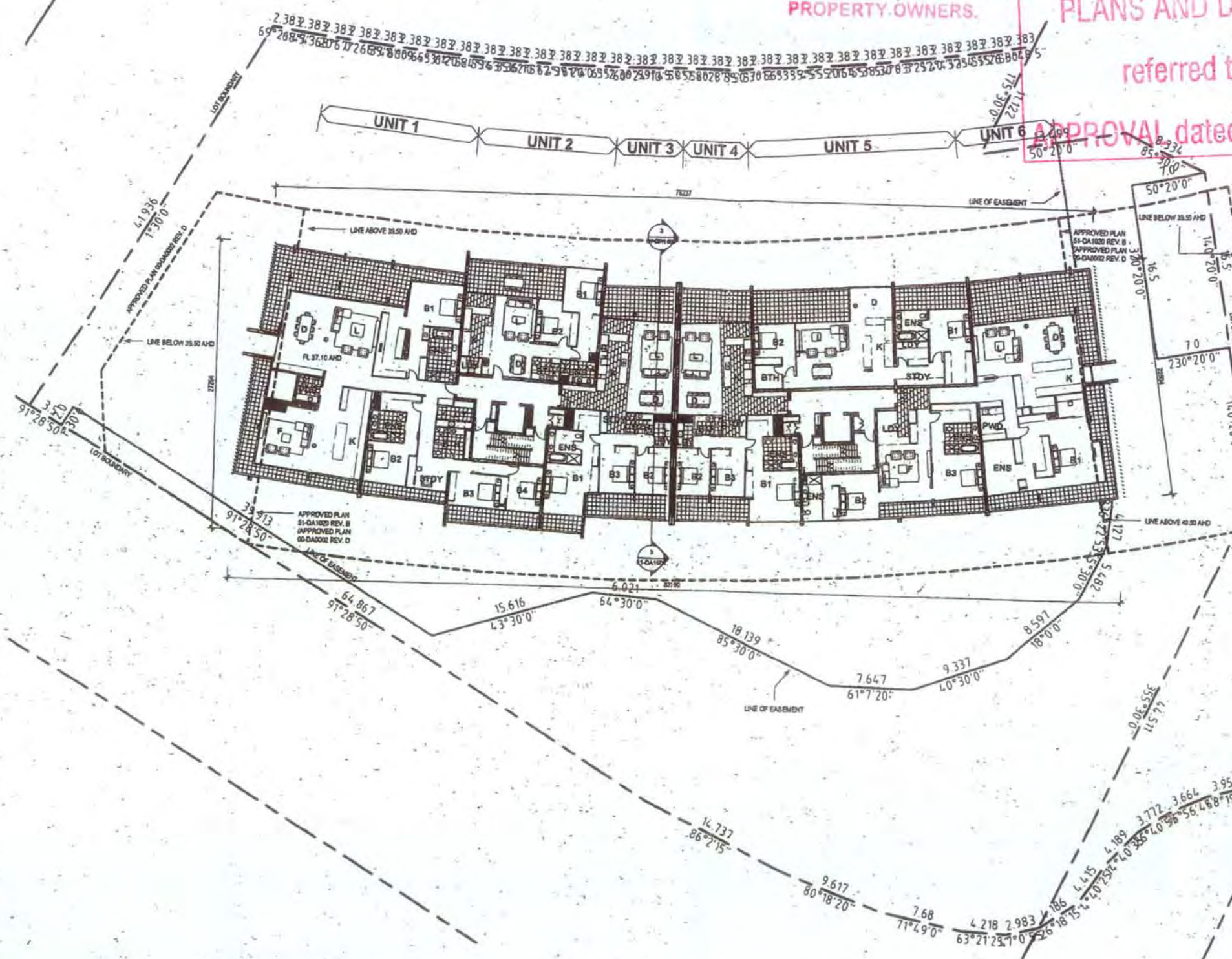
client: Mirvac

location: 100 King Street, Sydney, NSW, Australia

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 10

REV	DATE	REVISION
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2	06/08/07	REVISED PERMIT
3	19/09/06	ISSUED FOR PERMIT
4	06/12/07	REVISED PERMIT
5	08/09/08	ISSUED FOR PERMIT
6	26/06/09	REVISED PERMIT

REV	DATE	REVISION
1	28/07/07	ISSUED FOR PERMIT
2	06/08/07	REVISED PERMIT
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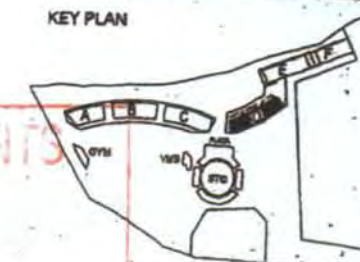




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NEIGHBOURING PROPERTY OWNERS  
TO CONSTRUCT ANY BUILDING OR  
WALLS OR FENCES. PERMISSION  
MUST BE OBTAINED FROM THE  
PROPERTY OWNERS.



KEY PLAN



PLANS AND DOCUMENTS

referred to in the

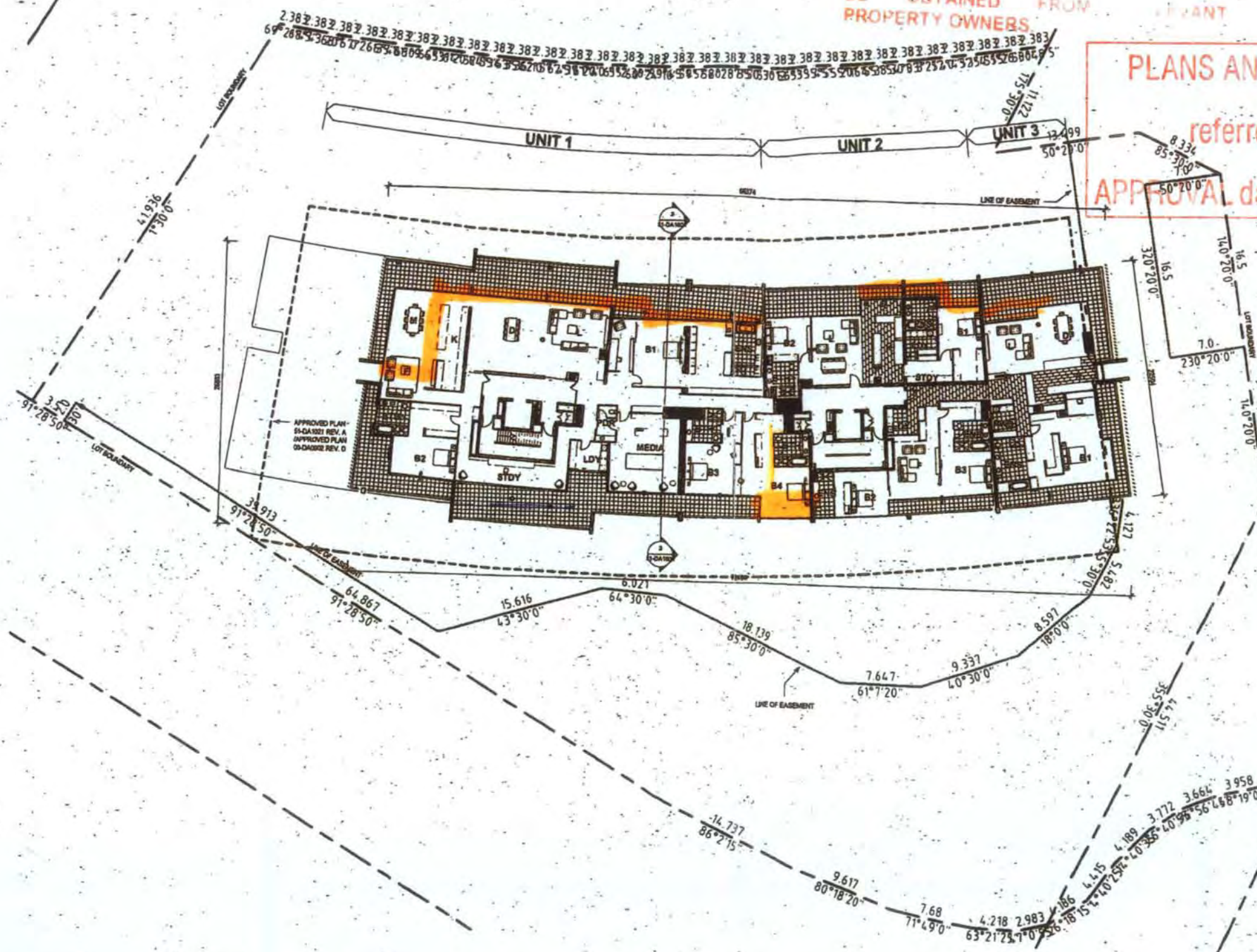
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PLANS and DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 29 FEB 2008

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 19 Sep 2006  
AS MODIFIED 6 DEC 2007

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 8 SEP 2008  
AS MODIFIED 26 JUN 2009



DATE	REVISION	BY	APP'D
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10/01/09	2	DA	DA
10/01/09	3	DA	DA
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DATE	REVISION	BY	APP'D
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project  
**Tennyson Reach**

author  
**Mirvac Design**

client  
**Mirvac**

date  
**10/01/09**

scale  
**1:200**

DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - LEVEL 11

author  
**DA**

check  
**DA**

date  
**10/01/09**

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total  
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BCC:058.5982



PROPERTY OWNERS

APPROVED PLAN  
S1-DAR025 REV. B  
APPROVED PLAN  
00-DAR002 REV. D

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9, OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED 19 SEP 2006  
AS MODIFIED 15 DEC 2007

AS MODIFIED - 5 DEC 2007

AS MODIFIED 26 JUN 2009

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

REV	DATE	REVISION
A	10/10/92	State Government Submission 2 N.P.N. - (SM)
B	08/11/92	DA ISSUE - (SM)
C	11/02/93	DA RFI ISSUE - (SM)
D	02/08/97	AMENDED DA ISSUE BUILDING 51 - (M)
E	12/08/97	AMENDED DA APPLICATION - (M)
F	07/08/00	AMENDED BUILDING 51 DA APPLICATION - (M)
G	05/10/00	DETAIL ADDED - (M)

[illegible]

project

Tennyson   
Reach

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architect:  
**Mirvac  
Design**  
engineer:  
planner:  
interior design:

1st Flr 154 King Street  
South Park, C2.D. 410  
Tel: (07) 3850 0888  
Fax: (07) 370 6100

Werner Design Pty Ltd  
100/101 7th Ave, 10th Flr  
Sydney NSW 1585



**mirtac**

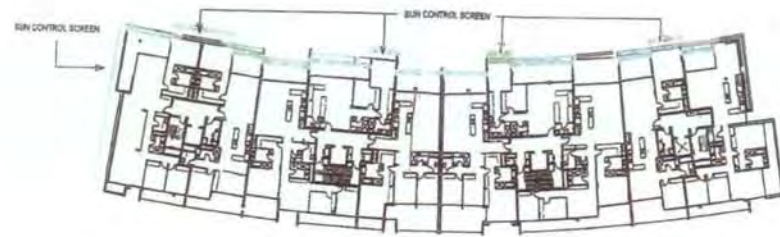
DEVELOPMENT APPROVAL  
GENERAL ARRANGEMENT PLAN  
BUILDING D - ROOF PLAN

Drawn: Author  
approved: Checker

job no: 517 date: 26/07/07 scale @ A1: 1 : 200

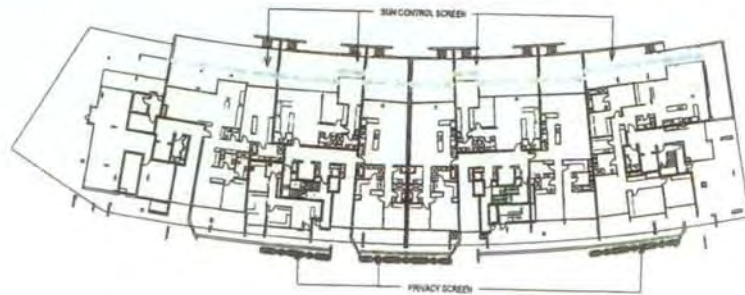
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Scale 1:500

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009



1 Screen - Level 1  
Scale 1:500

rev	date	amendment
A	21/08/07	DA RPT ISSUE - (2007)
B	21/08/07	AMENDED DA ISSUE BUILDING 91 - (2007)
C	21/08/07	BUILDING 91 AMENDED DA ISSUE - (2007)

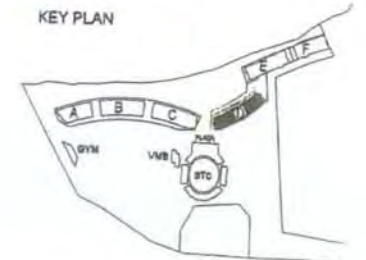
rev	date	amendment

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... - 8 SEP 2008.....

PLANS AND DOCUMENTS  
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ISSUED - 14 OCT 2006  
AS MODIFIED - 6 DEC 2007

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

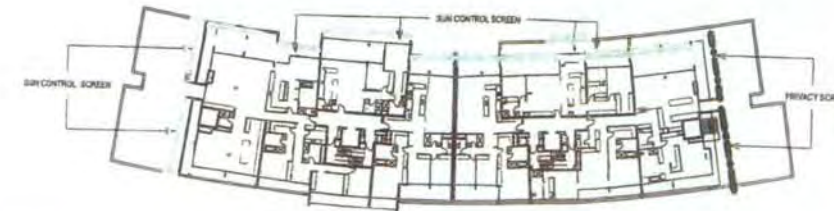
KEY PLAN



SCREEN LEGEND

SUN CONTROL SCREEN

PRIVACY SCREEN



3 Screen - Level 9  
Scale 1:500

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REFERRED TO IN THE  
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ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009



project  
Tennyson  
Reach

architect  
Mirvac  
Design

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client  
mirvac

title  
DEVELOPMENT APPROVAL  
BALCONY SCREEN PLANS  
BUILDING D - SHEET 1 OF 2

drawn: Author  
approved: Checker

job no: 517  
blog no: 51

date: 26/07/07

scale @ A1: 1:500  
drawing no: 51-DA1030rev C

BCC.067.0933



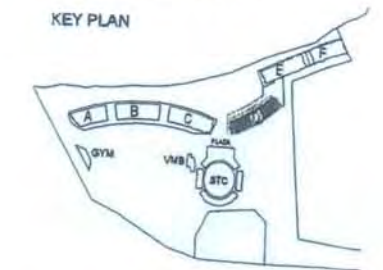
PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

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Referred to in the  
DEVELOPMENT PERMIT  
Dated... - 8 SEP 2008~~

~~PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED - 9 SEP 2008  
AS MODIFIED - 6 DEC 2007~~

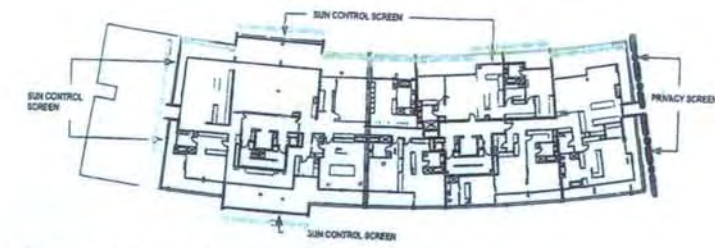
TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN

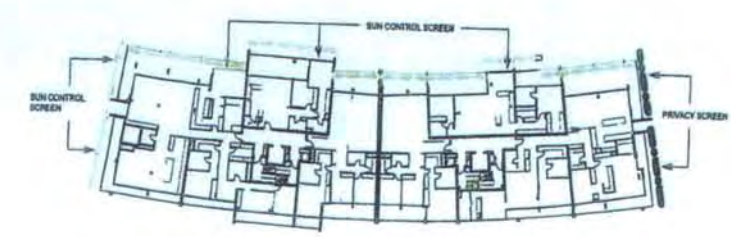


SCREEN LEGEND

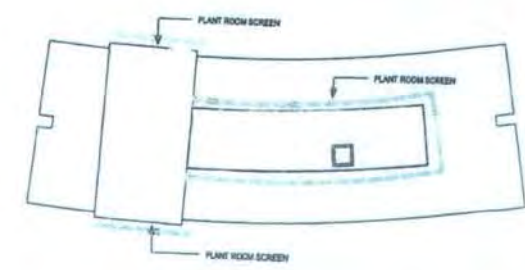
SUN CONTROL SCREEN  
PRIVACY SCREEN



2 Screens - Level 11  
Scale 1:500



1 Screen - Level 10  
Scale 1:500



3 Roof - Screen plan  
Scale 1:500

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REV.	DATE	AMENDMENT
A	21/09/09	DA RPI ISSUE - (JAM)
B	23/09/09	AMENDED DA ISSUE BUILDING D1 - (JAM)
C	24/09/09	BUILDING D1 AMENDED DA ISSUE - (JAM)

REV.	DATE	AMENDMENT

project  
Tennyson  
Reach

architect  
Mirvac  
Design

13/14 Grey Street  
South Bank, QLD 4101  
Tel: (07) 3038 5800  
Fax: (07) 3038 5800

client  
mirvac

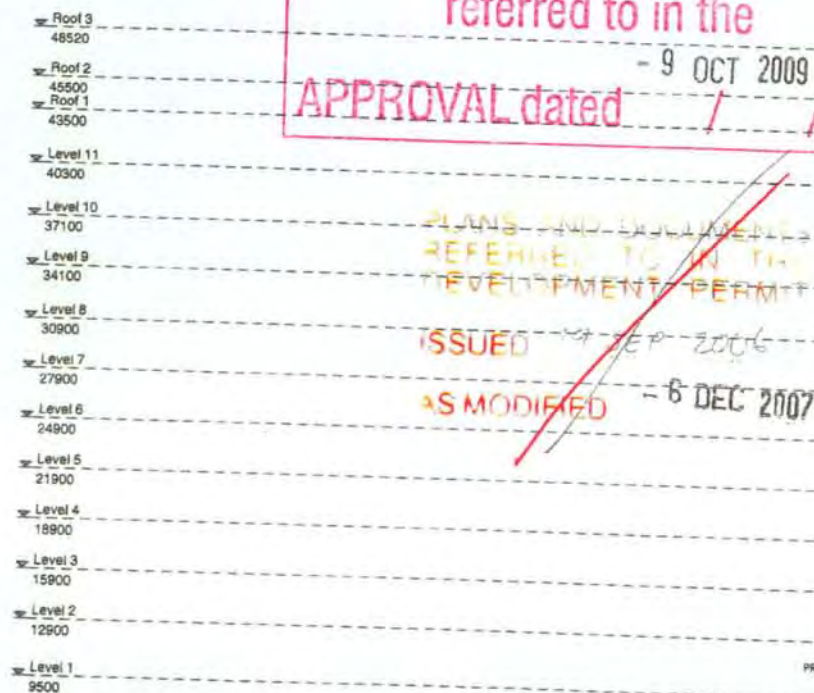
DEVELOPMENT APPROVAL  
BALCONY SCREEN PLANS  
BUILDING D - SHEET 2 OF 2

drawn: Author  
approved: Checker  
job no: 517  
date: 08/06/07  
scale: A1: 1:500  
bidg no: 51  
drawing no: 51-DA1031 rev: C





**PLANS AND DOCUMENTS**  
referred to in the  
- 9 OCT 2009  
**APPROVAL dated** / /



**3 Screens East Elevation**  
Scale 1:200

rev	date	amendment
A	21/03/08	CA NPI ISSUE - (044)
B	10/07/07	AMENDED ON NPI BUILDING 01 - (03)
C	18/04/07	AMENDED ON NPI BUILDING 01 - (03)
D	20/07/07	PL AMENDMENT - (04)

rev date amendment

project: **Tennyson Reach**  
architect: **Mirvac Design**  
architect: **Mirvac Design**  
architect: **Mirvac Design**

client: **Mirvac**  
client: **Mirvac**  
client: **Mirvac**

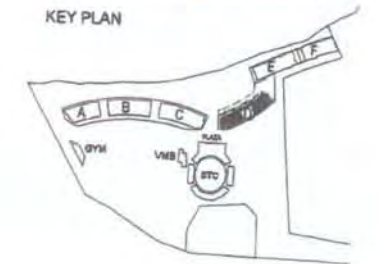
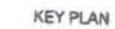
DEVELOPMENT APPROVAL  
BALCONY SCREEN ELEVATIONS  
BUILDING D - SHEET 1 OF 2



drawn: Author  
approved: Checker  
job no: 517  
date: 26/07/07  
scale: A1 1:200  
job no: 51  
drawing no: 51-DA1040-REV D

BCC.067.0935





## PRIVACY SCREENING

PLANS AND DOCUMENTS  
SUBMITTED TO THE  
DEVELOPMENT PERMIT

ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

1 Screens South Elevation  
Scale 1 : 200



2 Screens West Elevation  
Scale 1 : 200

REV	DATE	AMENDMENT
A	21/03/99	DA RFI ISSUE - (DA)
B	26/07/97	AMENDED DA ISSUE BUILDING 11 - (C)
C	18/06/97	AMENDED DA ISSUE BUILDING 11 - (C)
D	20/06/97	R.I. AMENDMENT - (AM)

rev	date	attachment
-----	------	------------

project.

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architect:  
**Mirva  
Design**  
architect:  
planner:  
interior design:

Let 2 184 Gray Street  
South Beach, OLC, 4  
Tel. (517) 365-6889  
Fax. (517) 361-1000

Minis Design Pte. L  
A84 78 025 700 100



**mirtvac**

DEVELOPMENT APPROVAL  
BALCONY SCREEN ELEVATIONS  
BUILDING D - SHEET 2 OF 2

Drawn: Author  
Approved: Checker  
page 517

scale (b) At: 1 : 1000

BCC.067.0887

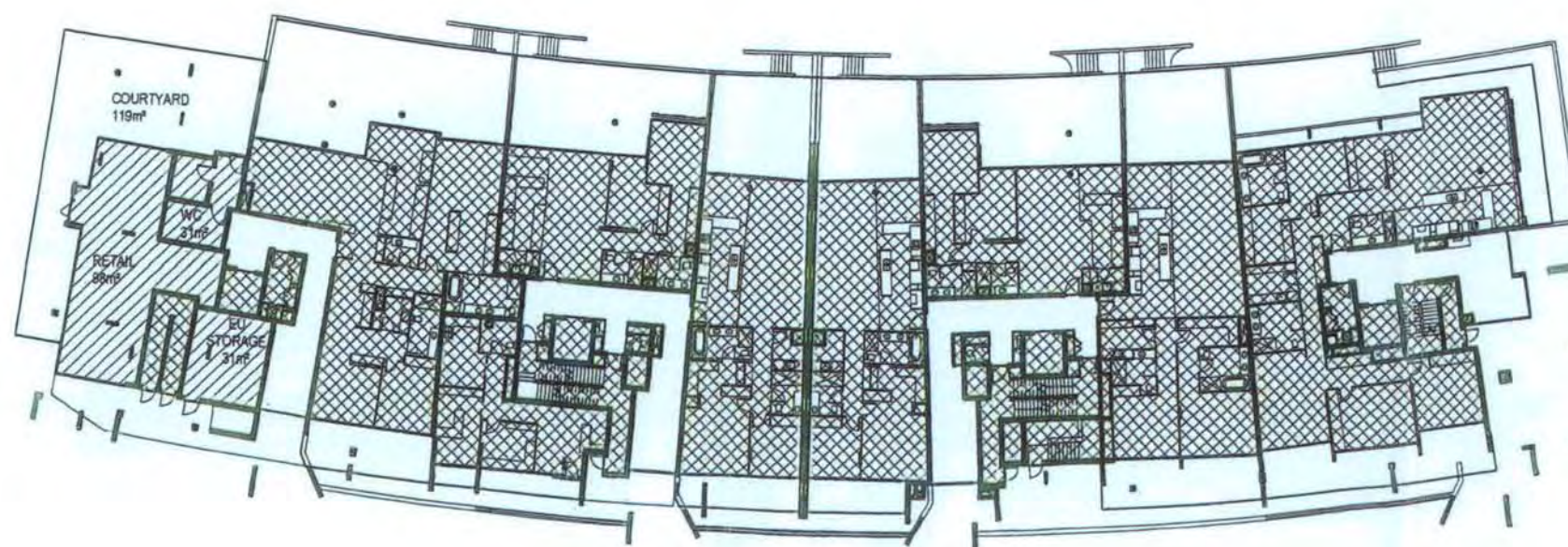


GROSS FLOOR AREA RESIDENTIAL: 1589.90m<sup>2</sup>  
 GROSS FLOOR AREA RETAIL INTERNAL: 98.00m<sup>2</sup>  
 GROSS FLOOR AREA COURTYARD: 119.00m<sup>2</sup>  
 GROSS FLOOR AREA EU STORAGE AREA: 31.00m<sup>2</sup>  
 GROSS FLOOR AREA WC: 26.50m<sup>2</sup>

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 Dated - 8 SEP 2008



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 DEVELOPMENT PERMIT  
 ISSUED - 8 SEP 2008  
 AS MODIFIED 26 JUN 2009

**PLANS AND DOCUMENTS**  
 referred to in the  
 APPROVAL dated - 9 OCT 2009

**PLANS AND DOCUMENTS**  
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 DEVELOPMENT PERMIT  
 Dated 29 FEB 2008

REV.	DATE	AMENDMENT
A	10/04/07	AMENDED DA APPLICATION - (M)
B	10/04/07	AMENDED BUILDING DA APPLICATION - (M)
C	10/04/07	AMENDED BUILDING DA APPLICATION - (M)
D	10/04/07	AMENDED BUILDING DA APPLICATION - (M)
E	10/04/07	AMENDED BUILDING DA APPLICATION - (M)
F	10/04/07	AMENDED BUILDING DA APPLICATION - (M)

REV.	DATE	AMENDMENT

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architect  
**Mirvac Design**  
architects

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 Email: info@mirvac.com.au

title  
**GROSS FLOOR AREA CALCS L01  
 BUILDING D**

drawn  
 approved  
 checked

job no: 517  
 stage no: 51

date: 07/10/07  
 drawing no: 51-DA1042

scale @ A1: 1:200  
 ver: F

BEC.067.0936



GROSS FLOOR AREA: 1924.5m<sup>2</sup>

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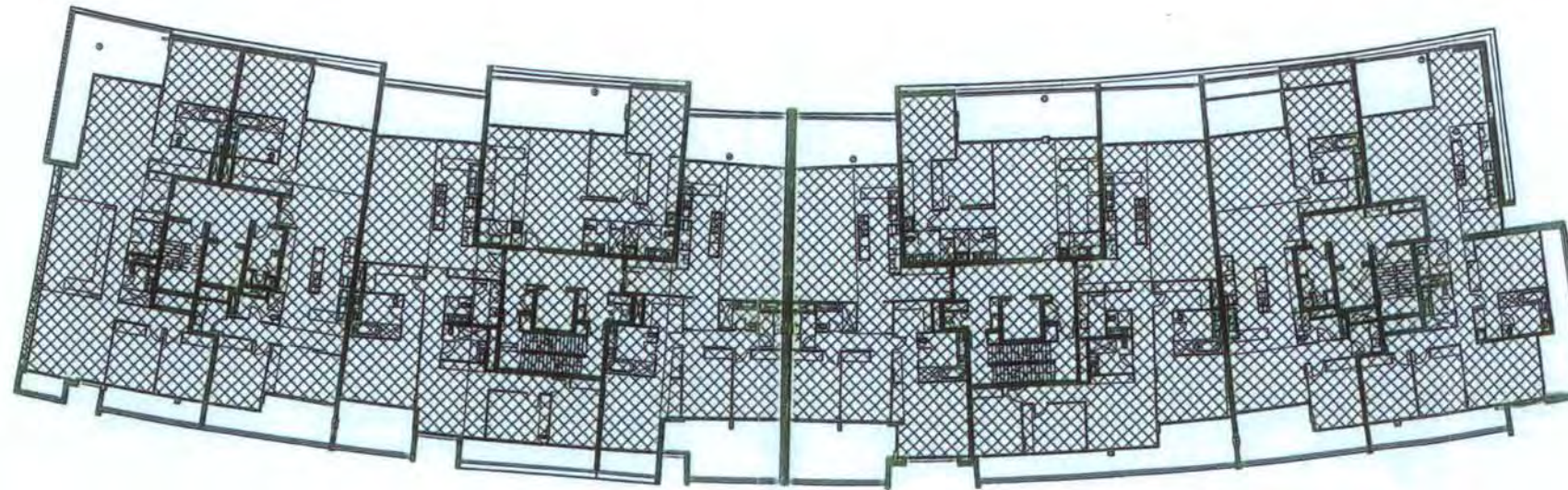
PLANS AND DOCUMENTS

referred to in the

APPROVAL dated

- 5 DEC 2007

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... - 8 SEP 2008



PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED ..... - 8 SEP 2008

AS MODIFIED 26 JUN 2009

PLANS AND DOCUMENTS

referred to in the

APPROVAL dated

- 9 OCT 2009

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
Dated.....

29 FEB 2008

rev	date	amendment
A	15/09/07	AUTHORIZED DA APPLICATION

rev	date	amendment

project: **Tennyson Reach**  
architect: **Mirvac Design**  
42184 Hwy 1 East  
Rochester, NY 14624  
tel: (716) 235-1000  
fax: (716) 235-1001  
www.mirvac.com

client: **mirvac**

title: **GROSS FLOOR AREA CALCS L02  
BUILDING D**

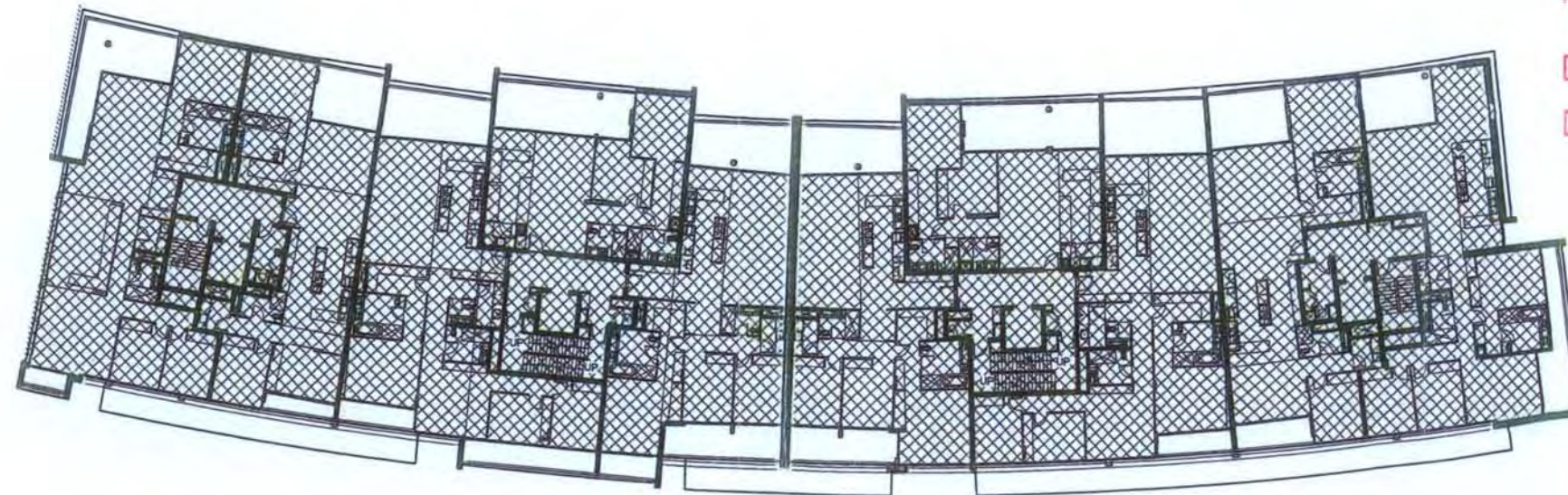
drawn: **Author**  
checked: **Checker**  
job no: 517 date: 07/09/07 scale: 1:200  
sheet no: 51 drawing no: 51-DA1043 rev: A



GROSS FLOOR AREA: 1924.5m<sup>2</sup>

PLANS AND DOCUMENTS  
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- 9 OCT 2009  
APPROVAL dated / /

PLANS AND DOCUMENTS  
referred to in the  
- 6 DEC 2007  
APPROVAL dated / /



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DEVELOPMENT PERMIT  
Dated..... - 8 SEP 2008.....

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rev	date	amendment
A	12/09/07	AMENDED DA APPLICATION

rev	date	amendment

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title  
**GROSS FLOOR AREA CALCS L03  
BUILDING D**

drawn: Author  
approved: Checker

job no: 517

date: 08/03/07

scale @ A1: 1:200

hldg no: 51

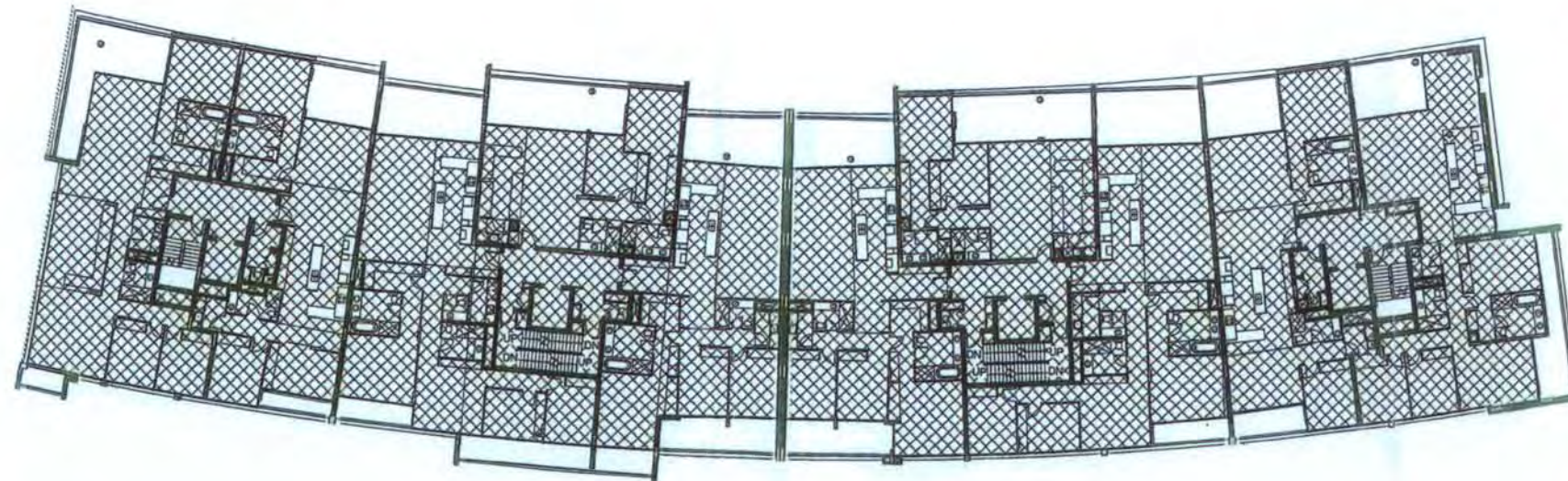
drawing no: 51-DA1044-A



GROSS FLOOR AREA: 1924.5m<sup>2</sup>

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APPROVAL dated - 6 DEC 2007

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Dated... - 8 SEP 2008



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Dated... 29 FEB 2008

REV	DATE	AMENDMENT
A	12/05/07	AMENDED APPLICATION

REV	DATE	AMENDMENT

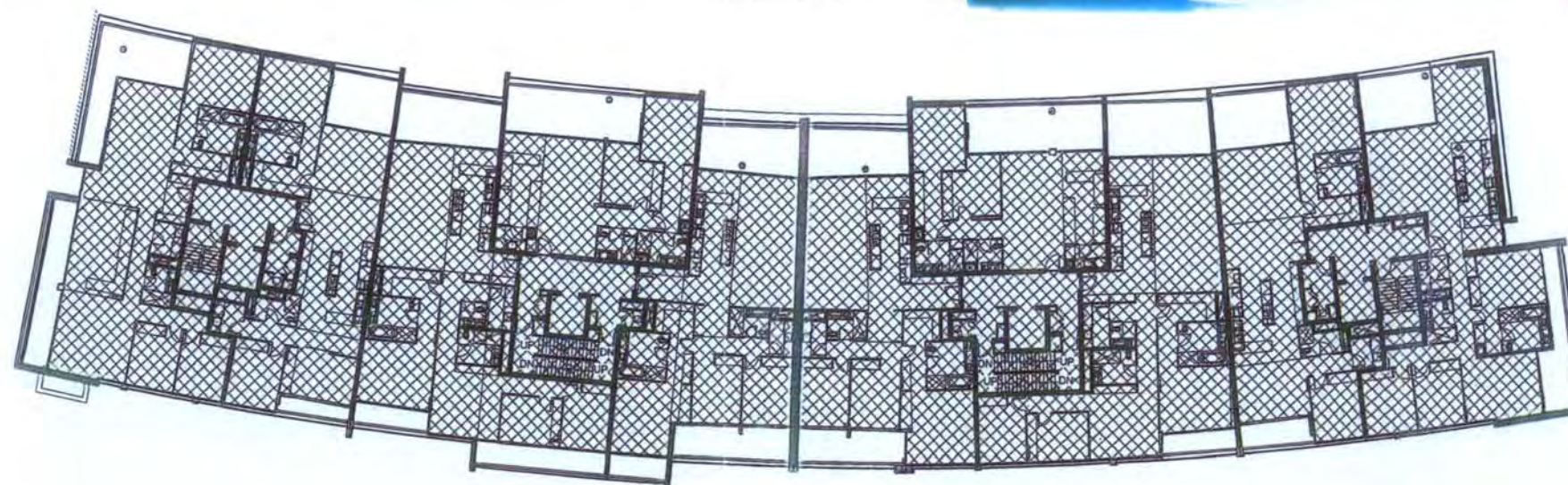
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GROSS FLOOR AREA: 1924.5m<sup>2</sup>

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REV	DATE	AMENDMENT
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REV	DATE	AMENDMENT

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fax: (07) 2609 1000

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**mirvac**  
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401/401 Cnr. 11th Flr. Lvl.

site  
GROSS FLOOR AREA CALCS L05  
BUILDING D

drawn: Author

approved: Checker

job no: 517

date: 08/03/07

scale @ A1: 1:200

sig no: 51

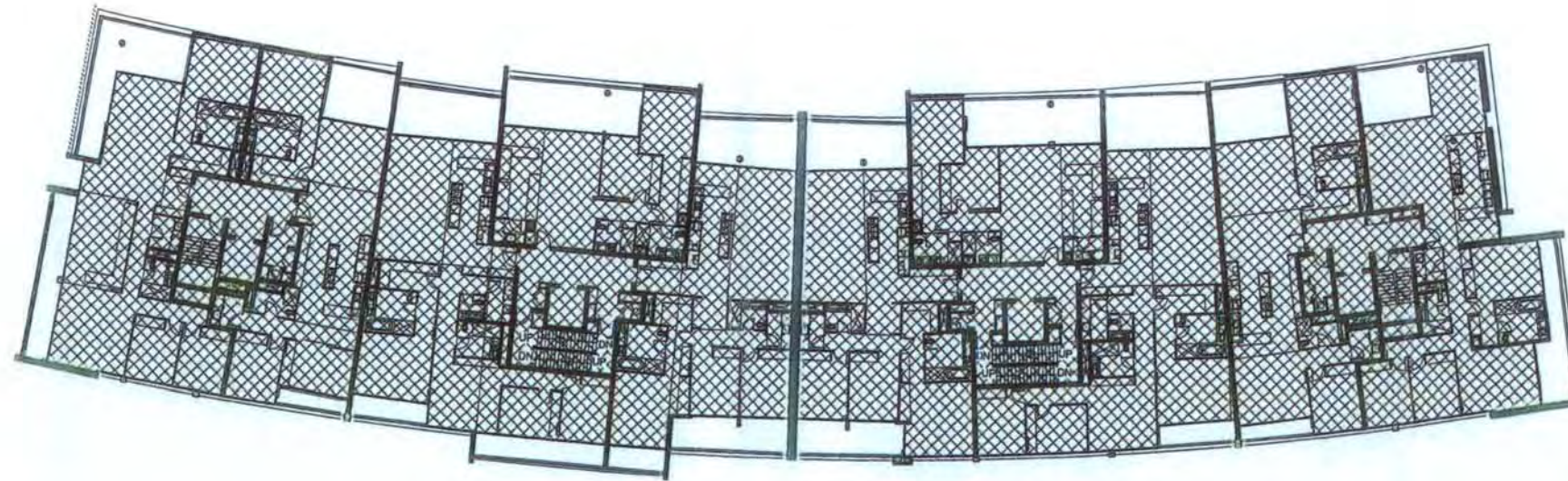
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GROSS FLOOR AREA: 1924.5m<sup>2</sup>

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- 8 SEP 2008  
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AS MODIFIED 26 JUN 2009

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APPROVAL dated - 9 OCT 2009

29 FEB 2008

REV	DATE	AMENDMENT
A	12/06/07	AMENDED DA APPLICATION

REV	DATE	AMENDMENT

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**Mirvac Design**  
architects  
planners  
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12-14 Grey Street  
South Brisbane, QLD 4101  
tel: 07 3303 1000  
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tennysonreach.com.au  
mirvac

client  
**mirvac**

title  
GROSS FLOOR AREA CALCULATIONS  
BUILDING D

drawn: Author  
approved: Checker

job no: 517

date: 09/12/07

scale @ A1: 1:200

bdg no: 51

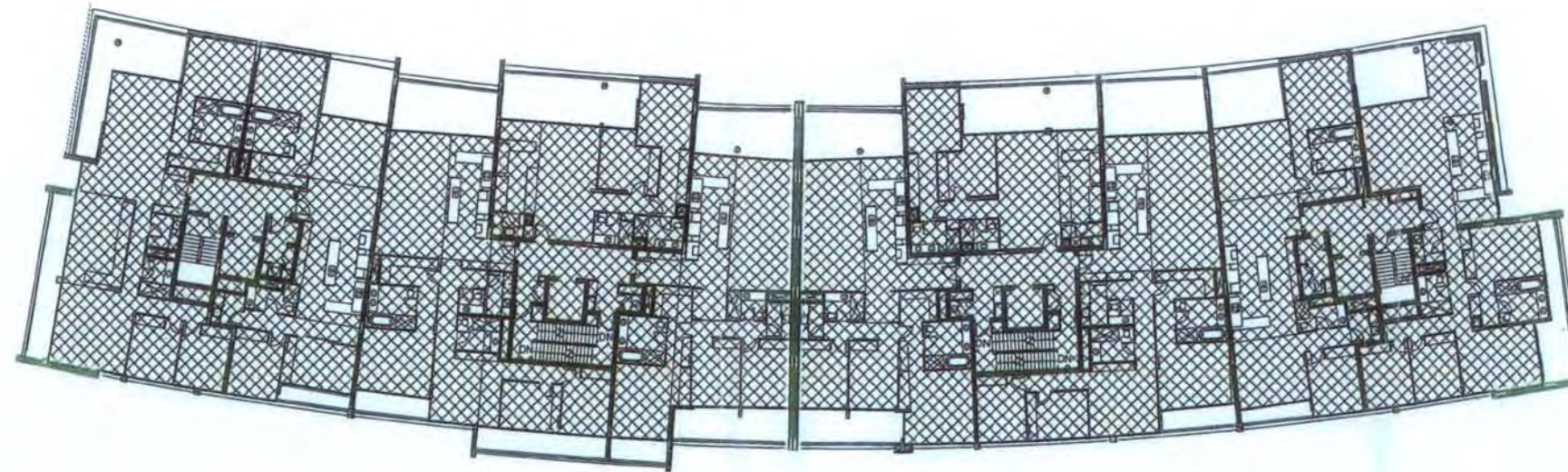
drawing no: 51-DA1048 rev A



GROSS FLOOR AREA: 1924.5m<sup>2</sup>

PLANS AND DOCUMENTS  
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APPROVAL dated - 6 DEC 2007

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DEVELOPMENT PERMIT  
Dated - 8 SEP 2008



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ISSUED - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

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REFERRED TO IN THE  
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rev	date	amendment
A	13/06/07	REVISED APPLICATION

rev	date	amendment

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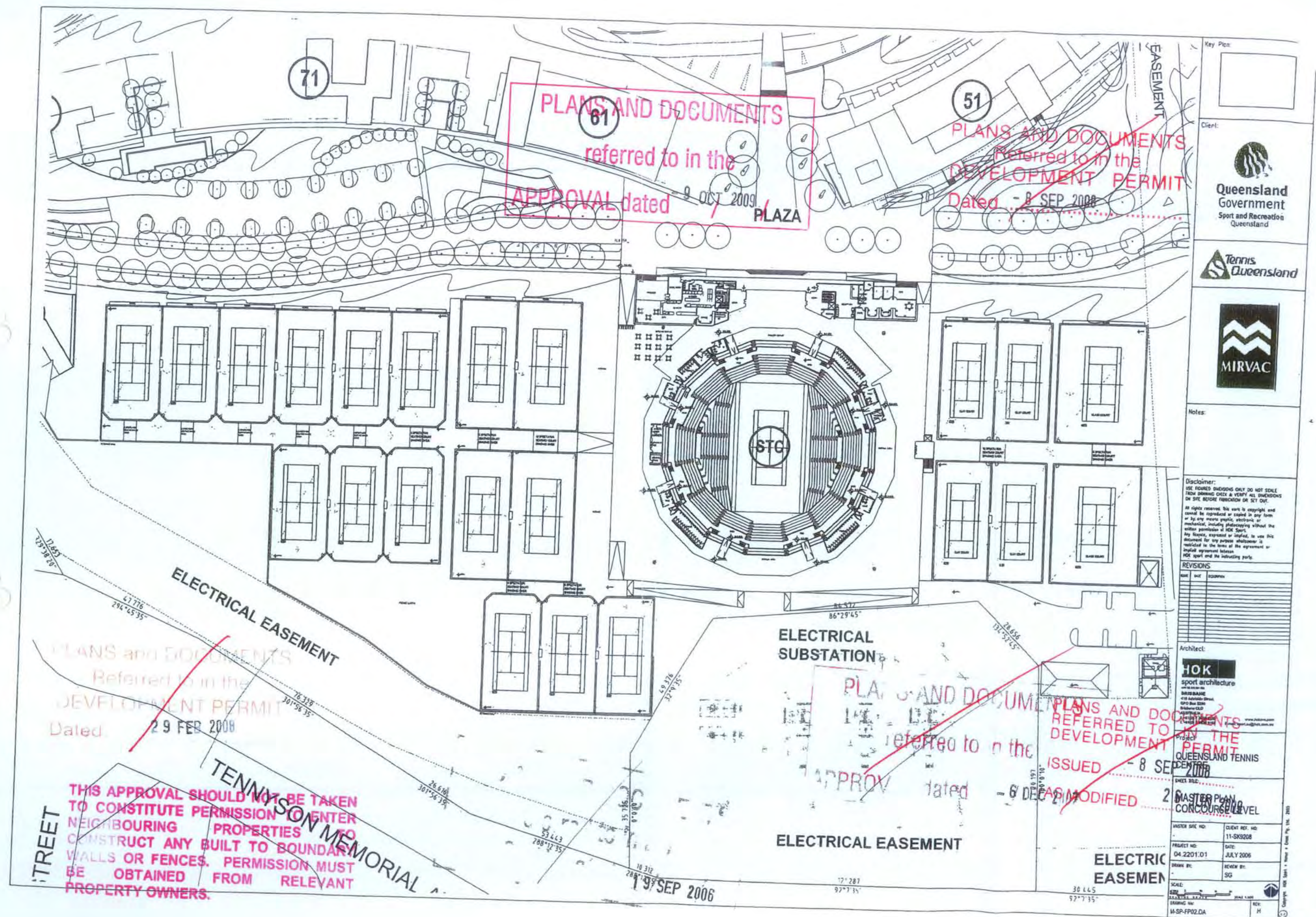
client  
**DA Group**  
1000, CLC, 7th  
8th, 9th, 10th, 11th  
12th, 13th, 14th, 15th  
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21st, 22nd, 23rd, 24th, 25th  
26th, 27th, 28th, 29th, 30th  
31st, 32nd, 33rd, 34th, 35th  
36th, 37th, 38th, 39th, 40th  
41st, 42nd, 43rd, 44th, 45th  
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71st, 72nd, 73rd, 74th, 75th  
76th, 77th, 78th, 79th, 80th  
81st, 82nd, 83rd, 84th, 85th  
86th, 87th, 88th, 89th, 90th  
91st, 92nd, 93rd, 94th, 95th  
96th, 97th, 98th, 99th, 100th

client  
**mirvac**

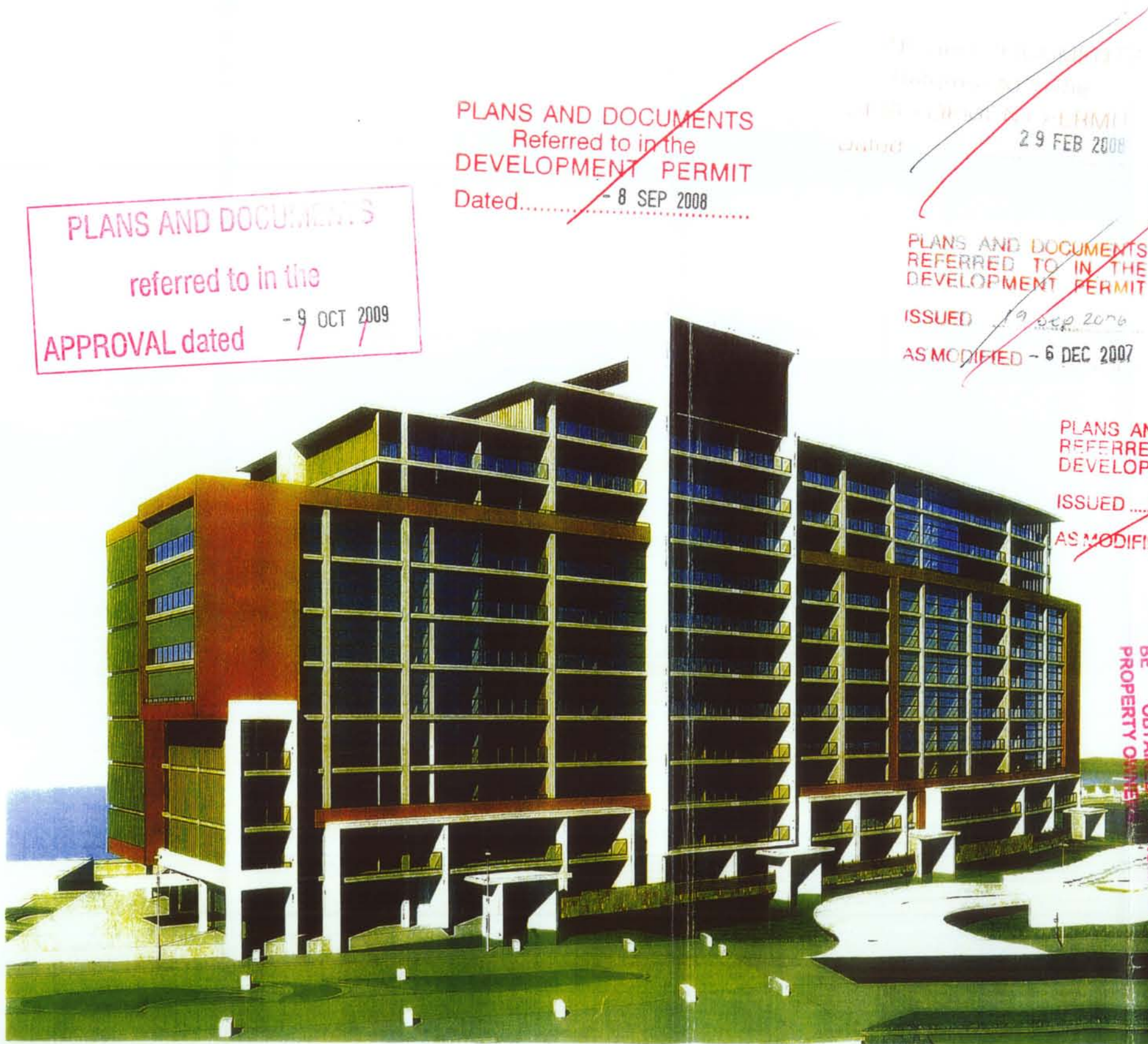
title  
GROSS FLOOR AREA CALCS L08  
BUILDING D

drawn: Author  
approved: Checker  
job no: 517  
date: 09/12/07  
scale: A1: 1:200  
drawing no: 51-DA1049-Rev A









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Referred to in the  
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Dated..... - 8 SEP 2008

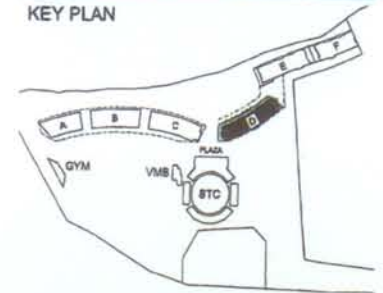
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DEVELOPMENT PERMIT  
ISSUED - 9 SEP 2008  
AS MODIFIED - 6 DEC 2007

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REFERRED TO IN THE  
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PROPERTY OWNER.

TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

KEY PLAN

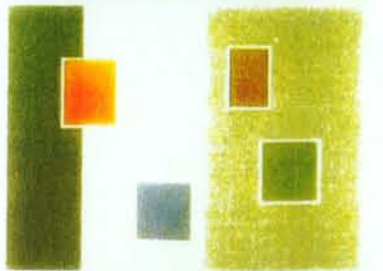


NOTE - ALL MATERIALS AND COLOURS INDICATIVE ONLY

TEXTURE WALL



SCREENS



FACEBRICK



date	rev	amendment
10/10/05	A	Initial Development Application & RPA - (2005)
10/10/05	B	DA ISSUE - (2005)
10/10/05	C	DA ISSUE - (2005)
10/10/05	D	DA ISSUE - (2005)
10/10/05	E	AMENDED DA ISSUE BUILDING D1 - (2005)
10/10/05	F	KEYPLAN AMENDMENT - (2005)

date	rev	amendment

project  
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planners  
landscape designers  
Level 2, 164 Grey Street  
South Bank, QLD, 4101  
tel: 07 3598 0000  
fax: 07 3598 0000  
mirvacdesign.com.au

DEVELOPMENT APPROVAL  
BUILDING D - COVER SHEET

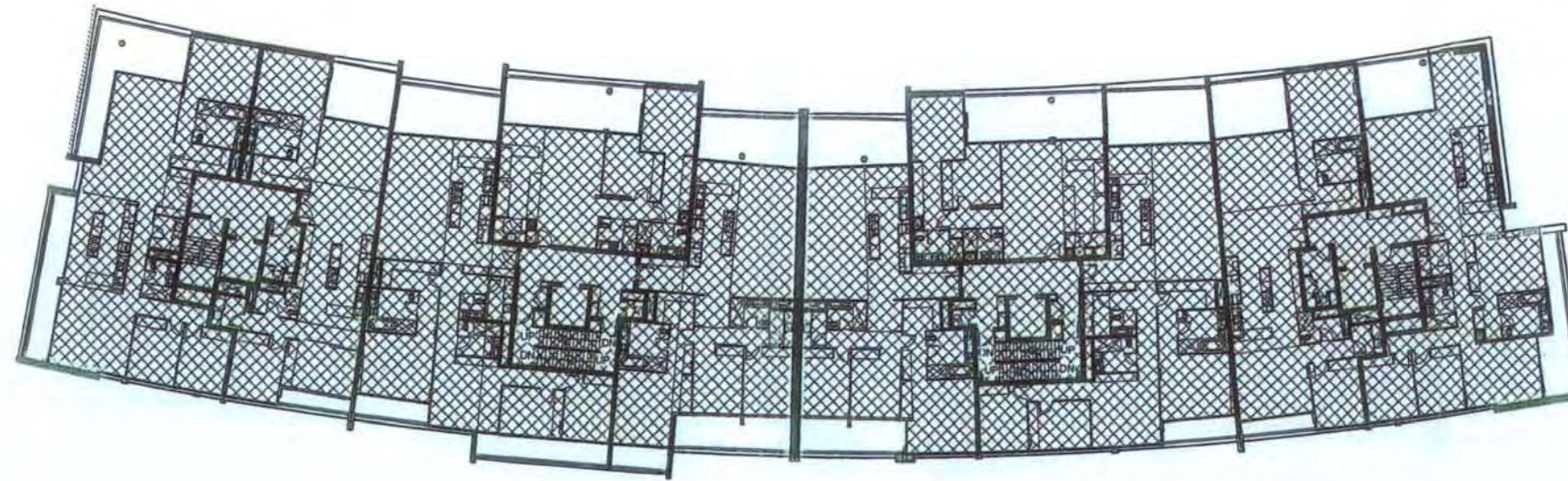
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date  
scale @ A1 N.T.S.  
job no. 51700  
drawing no. 51-DA0000 rev F



GROSS FLOOR AREA: 1924.5m<sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the  
- 6 DEC 2007  
APPROVAL dated

PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... - 8 SEP 2008



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REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED..... - 8 SEP 2008  
AS MODIFIED 26 JUN 2009

PLANS AND DOCUMENTS  
referred to in the  
- 9 OCT 2009  
APPROVAL dated

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
Dated..... 29 FEB 2008

rev.	date	amendment
A	12/08/07	REVISED SA APPLICATION

rev.	date	amendment

project:  
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architect:  
**Mirvac Design**  
substantive planning and design

1/2-1/4 Day - 1999  
Site & Access Study 1999  
or (S) 2000/2001  
Site Plan 2001/2002  
- and Design Pty Ltd  
1/2-1/4 Day - 1999

designed by:  
**mirvac**

site:  
GROSS FLOOR AREA CALCS L08  
BUILDING D

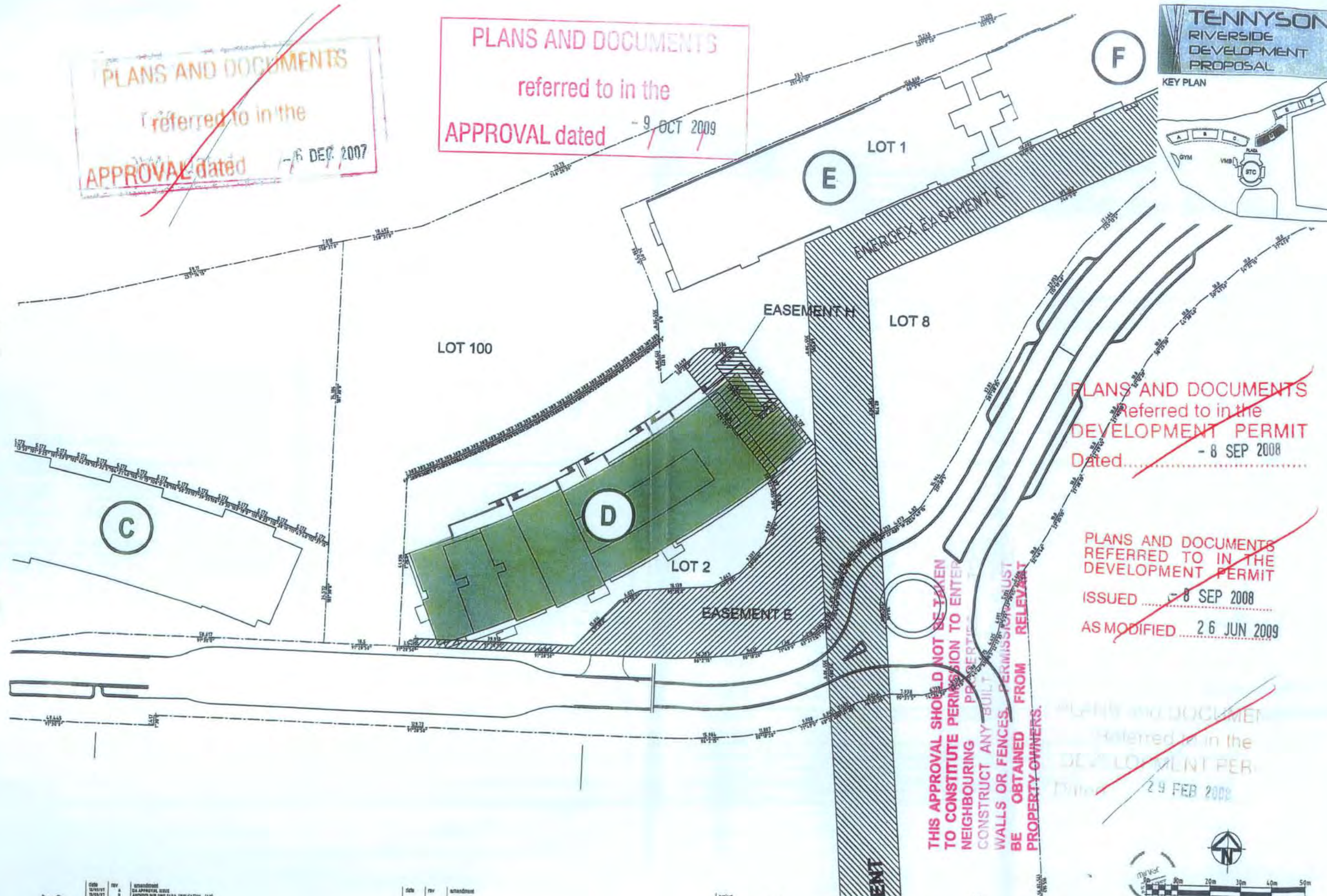
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approved: Checker  
job no: 517 date: 07/20/07 scale @ A1: 1:200  
title no: 51 drawing no: 51-DA1047 rev: A



~~PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 6 DEC 2007~~

PLANS AND DOCUMENTS  
referred to in the  
APPROVAL dated - 9 OCT 2009

**TENNYSON  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL**  
KEY PLAN



mirvac

date	rev	amendment
12/01/07	A	QA APPROVAL ISSUE
12/01/07	B	AMENDED BUILDING SUB APPLICATION - SAME
20/01/07	C	REPLAN UPDATE - SAME
20/01/07	D	EASEMENT UPDATE - SAME
20/01/07	E	EASEMENT MATCH ADDED - SAME

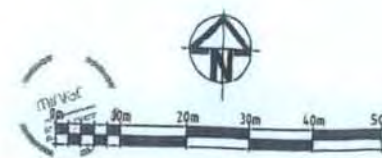
date	rev	amendment

Tennyson  
Reach

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Design  
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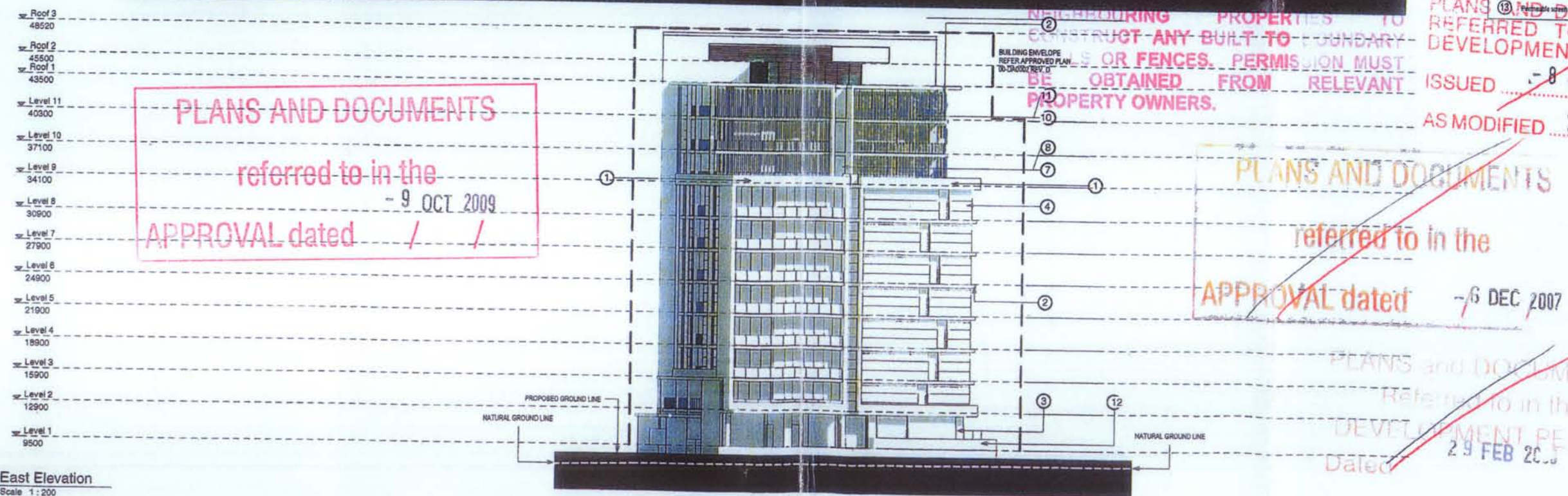
Lot 2, 144 Grey Street  
South Bank, QLD, 4101  
tel: (07) 3288 0888  
fax: (07) 3288 1000  
www.mirvac.com.au  
ABN 75 567 094 000

DEVELOPMENT APPROVAL  
BUILDING D - BUILDING LOCATION PLAN  
SCALE: 1:500 @ A1



job no. 51700  
drawing no. 51-DA1060  
scale @ A1 1:500  
BCC: 567.0940





REV	DATE	AMENDMENT
1	20/09/09	Issue Development Application & R.P. (DA)
2	21/09/09	DA ISSUE - (DA)
3	21/09/09	DA ISSUE - (DA)
4	21/09/09	AMENDED DA ISSUE BUILDING D1 - (DA)
5	21/09/09	AMENDED DA APPLICATION - (DA)
6	21/09/09	AMENDED BUILDING D1 DA APPLICATION - (DA)

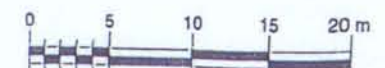
REV	DATE	AMENDMENT
1		
2		
3		
4		
5		
6		

project  
**Tennyson Reach**

architect  
**Mirvac Design**

client  
**Mirvac**

DEVELOPMENT APPROVAL  
ELEVATION SHEET 1  
BUILDING D



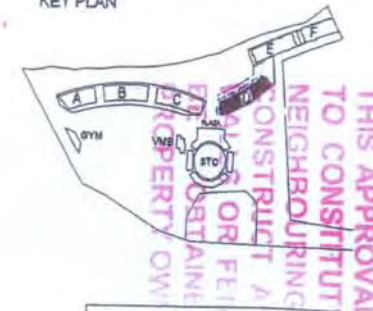
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Checked: 51	date: 07/25/07	
Drawn: 51	drawing no: 51-DA1600-F	



PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated - 8 SEP 2008

**TENNYSON**  
RIVERSIDE  
DEVELOPMENT  
PROPOSAL

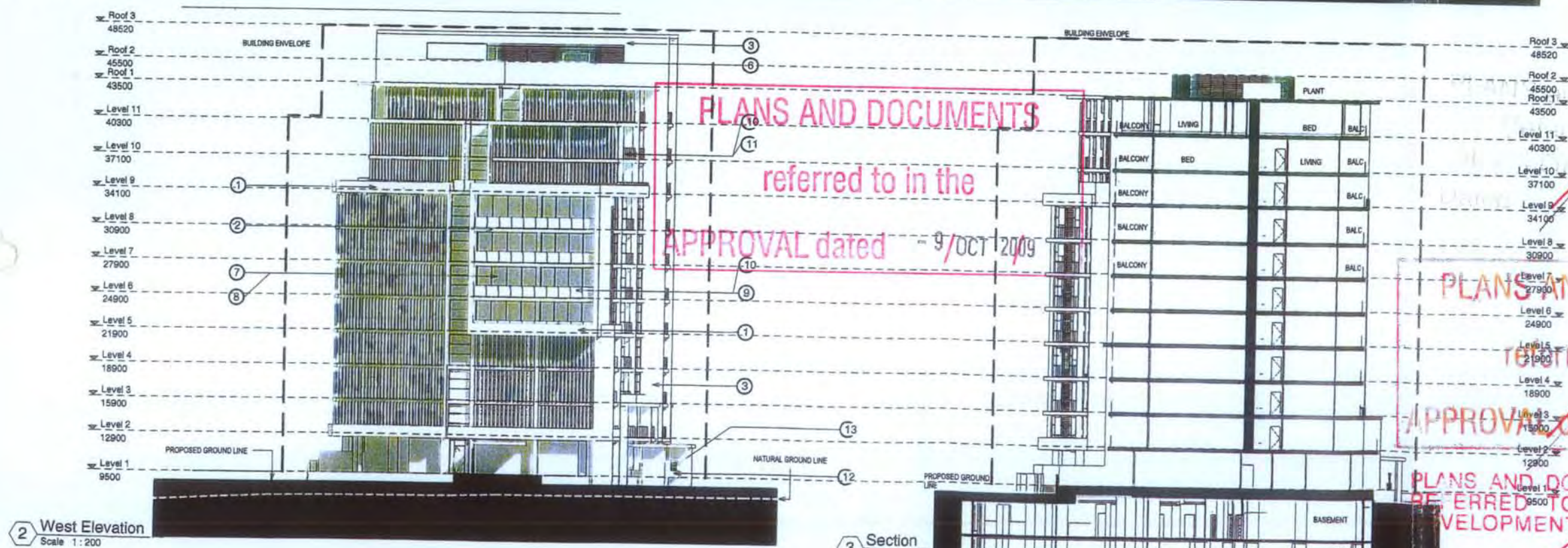
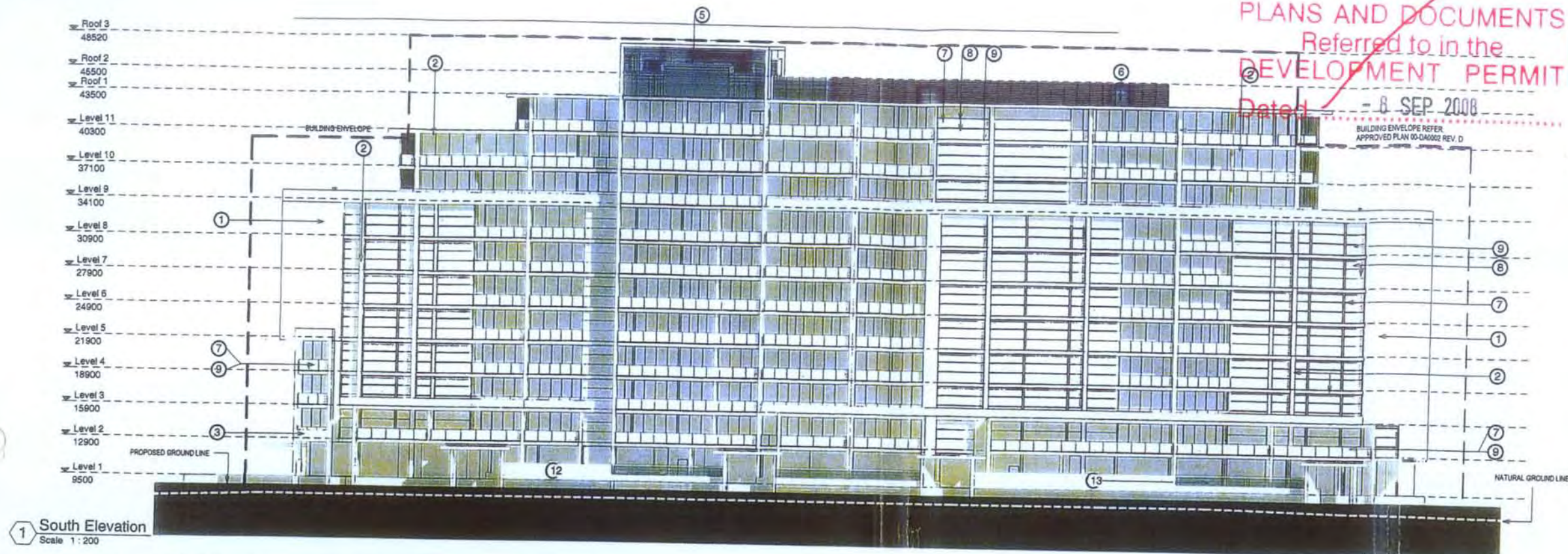
KEY PLAN



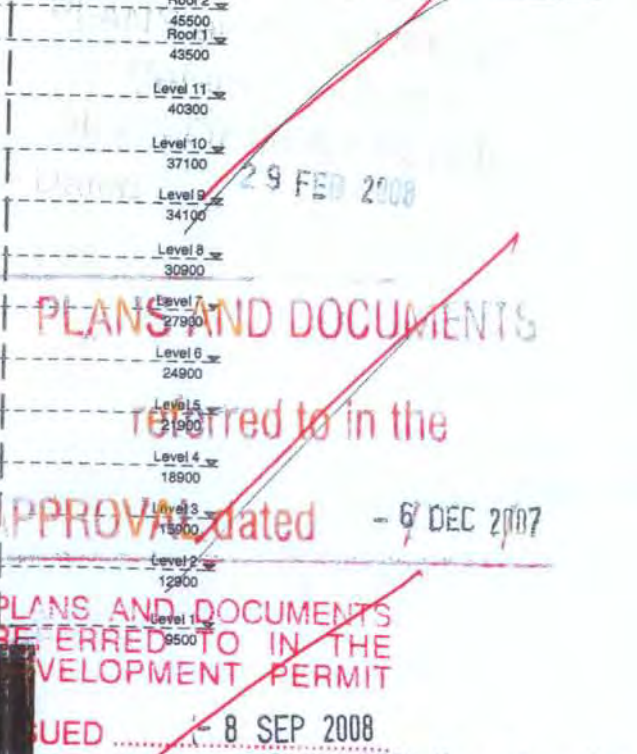
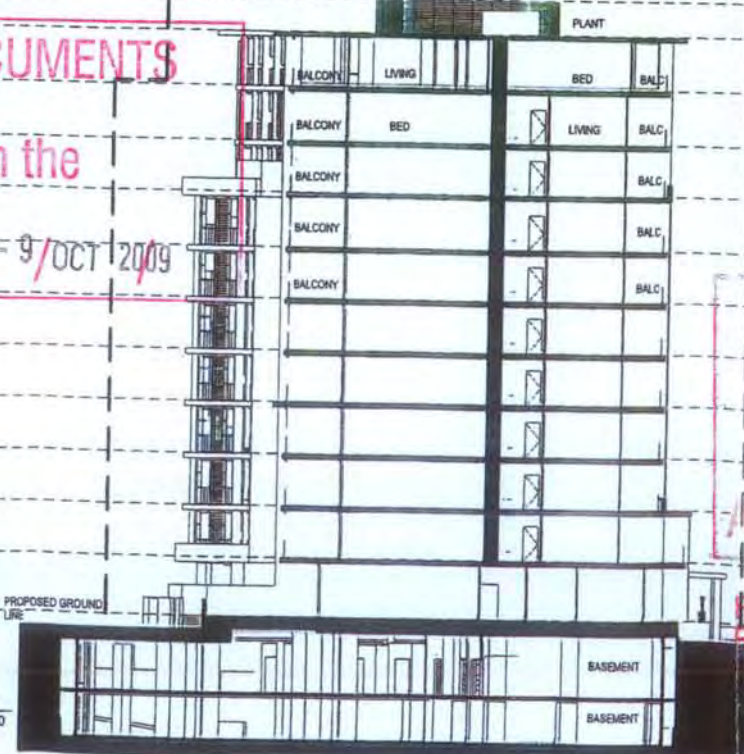
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STC  
PROPERTY OW

**FINISHES LEGEND**

- ① Masonry - Applied finish - colour 1
- ② Masonry - Applied finish - colour 2
- ③ Masonry - Applied finish - colour 3
- ④ Masonry - Applied finish - colour 4
- ⑤ Metal Sunshade - Applied finish - colour 5
- ⑥ Metal Screen - Applied finish - colour 6
- ⑦ Metal Glazing - Applied finish - colour 7
- ⑧ Transparent Glazing - Tinted glass - colour 7
- ⑨ Translucent Glazing - Tinted glass with interlayer - colour 7
- ⑩ Metal Balustrade - Powder coat - colour 6
- ⑪ Balustrade Glazing - Tinted glass - colour 7
- ⑫ Feature Masonry - Cladding - Type 1
- ⑬ Permeable screen - Hardwood timber - Type 1



**3 Section**  
Scale 1:200



REV: 15/03/08  
DATE: 15/03/08  
BY: 15/03/08  
REASON: 15/03/08

REV: 15/03/08  
DATE: 15/03/08  
BY: 15/03/08  
REASON: 15/03/08

project: **Tennyson Reach**  
architect: **Mirvac Design**  
client: **Mirvac**  
title: **DEVELOPMENT APPROVAL ELEVATION SHEET 2 BUILDING D**

drawn: Author  
approved: Checker  
job no: 517  
date: 07/25/07  
scale: 1:200  
drawing no: 51-DA1601 rev: F





PLANS AND DOCUMENTS  
Referred to in the  
DEVELOPMENT PERMIT  
Dated..... - 8 SEP 2008

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT

ISSUED 14 SEP 2006

AS MODIFIED

~~PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT~~

ISSUED - 8 SEP 2008

~~AS MODIFIED~~ 26 JUN 2009

PLANS and DOCUMENTS  
Referenced in the  
DEVELOPMENT PERMIT  
Dated **29 FEB 2008**

PLANS AND DOCUMENTS  
referred to in the  
- 9 OCT 2009  
APPROVAL dated / /

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FOR APPROVAL



drawn

date NOV/97

job no. 51711

scale 0-11 (0 = not at all, 11 = very much)

drawing no. 11-DA

drawing no. 11-DA1067-BCC.067.0962



date 30/11/07	rev 4	standards (ISSUE FOR DEVELOPMENT) APPROVAL - (A2)
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date	rev	amendment
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project  
**queensland**  
**State Tennis**  
CENTRE

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Ltd 2, 154 Gray Street  
South Black, O.D. 412  
tel. (507) 3658 5500  
fax. (507) 371 0 1500  
Wireless Design Pty. Ltd.  
AUSA PA 003 352 152

10

STATE TENNIS CENTRE  
GENERAL ARRANGEMENT PLAN  
LEVEL 3

drawn

date NOV/97

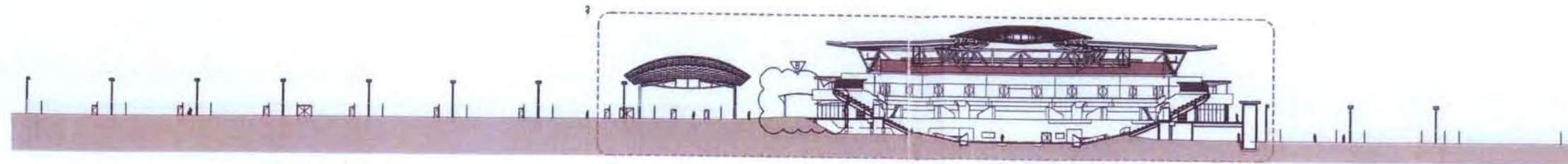
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scale 0-11 (0 = not at all, 11 = very much)

drawing no. 11-DA

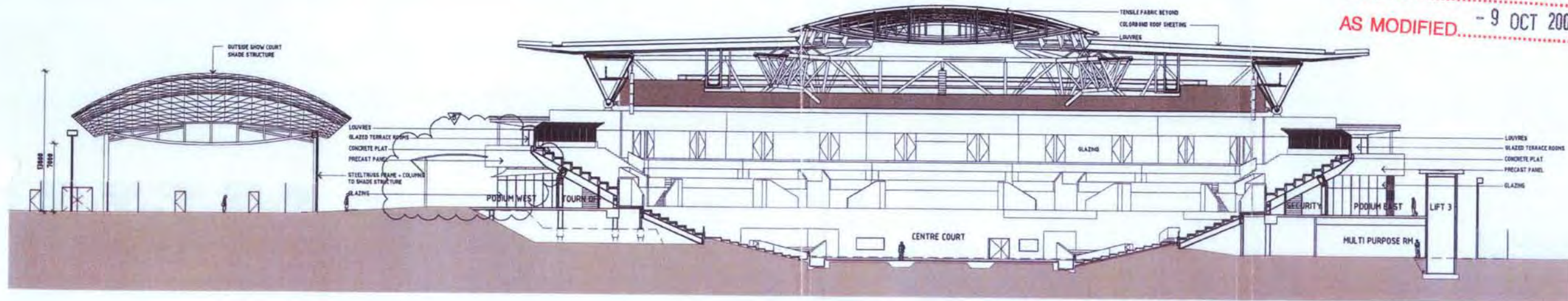
drawing no. 11-DA1067-BCC.067.0962





**A SECTION A A**  
DA1001 SCALE 1:100

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
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ISSUED.....  
AS MODIFIED..... 9 OCT 2009



**2 SECTION A A**  
SCALE 1:100

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date	rev	amendment
11/11/17	4	ISSUE FOR DEVELOPMENT APPROVAL - L&D
16/08/18	5	REVISED DA - 10/18

date	rev	amendment

project **Queensland State Tennis CENTRE**

**MIRVAC DESIGN**  
L&D 100 Deep Street  
South Brisbane, QLD 4101  
tel: 07 3555 5555  
fax: 07 3555 5555  
www.mirvacdesign.com.au

SECTION AA  
QUEENSLAND TENNIS CENTRE



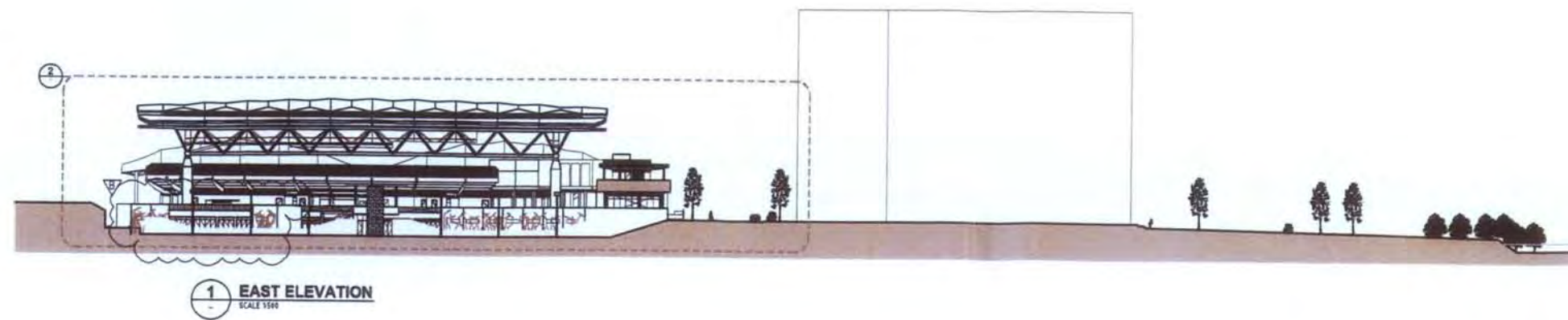
**FOR APPROVAL**

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job no 51711  
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drawing no 11-DA1006 rev B  
BCC.067.0982

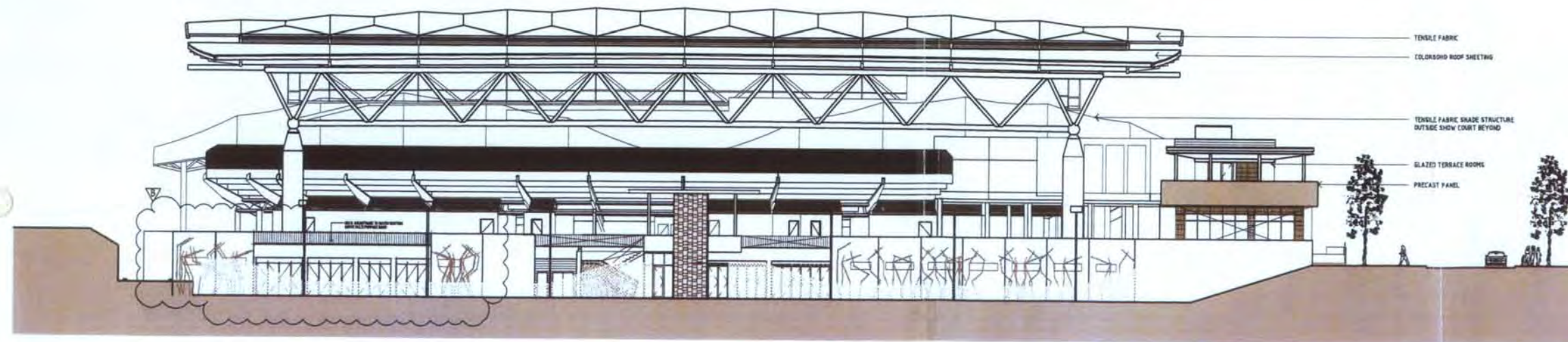








1 EAST ELEVATION  
SCALE 1:500



TENSILE FABRIC  
COLORADO ROOF SHEETING  
TENSILE FABRIC SHADE STRUCTURE  
OUTSIDE SHOW COURT BEYOND  
GLAZED TERRACE ROOMS  
PRECAST PANEL

PLANS AND DOCUMENTS  
REFERRED TO IN THE  
DEVELOPMENT PERMIT  
ISSUED.....  
AS MODIFIED..... 9 OCT 2009

2 EAST ELEVATION  
SCALE 1:500

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FOR APPROVAL



date	rev	amendment
24/05/07	A	ISSUE FOR DEVELOPMENT APPROVAL - (A1)
16/06/07	B	REVISED A1 - (A2)

date	rev	amendment

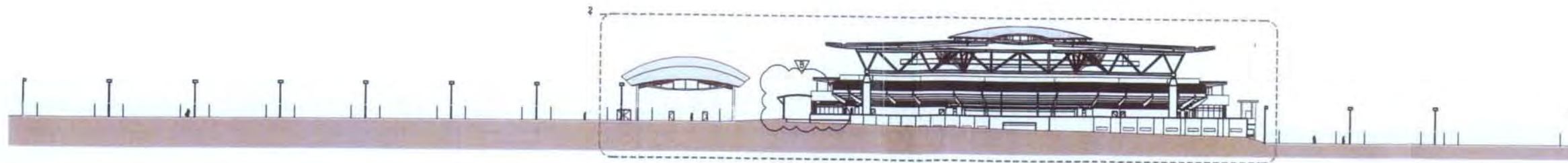
project **queensland  
State Tennis  
CENTRE**

**MIRVAC  
DESIGN**  
architects  
interiors  
landscape  
planning  
urban design  
Lvl 2 150 Grey Street  
South Bank, QLD, 4101  
Tel: (07) 3400 0800  
Fax: (07) 3400 1000  
Mirvac Design Pty Ltd  
ABN 70 003 509 100

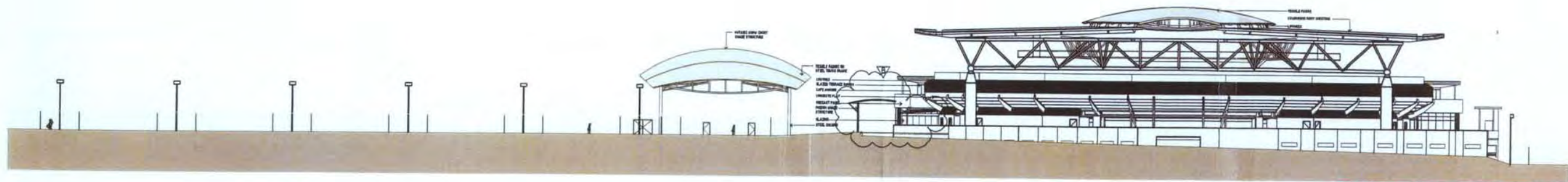
title EAST ELEVATION  
QUEENSLAND TENNIS CENTRE

date	rev	amendment
NOV 07	A1	AS SHOWN @ A1
51711		11-DA1004 B BCC.067.0980





1 SOUTH ELEVATION  
SCALE 1:500



2 SOUTH ELEVATION  
SCALE 1:500

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DEVELOPMENT PERMIT  
ISSUED.....  
AS MODIFIED..... - 9 OCT 2009

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date	rev	amendment
25/10/07	A	ISSUE FOR DEVELOPMENT APPROVAL - IAD
05/04/08	B	REVISED SA - IAD

date	rev	amendment

project **queensland  
State Tennis  
CENTRE**

**MIRVAC  
DESIGN**  
architects  
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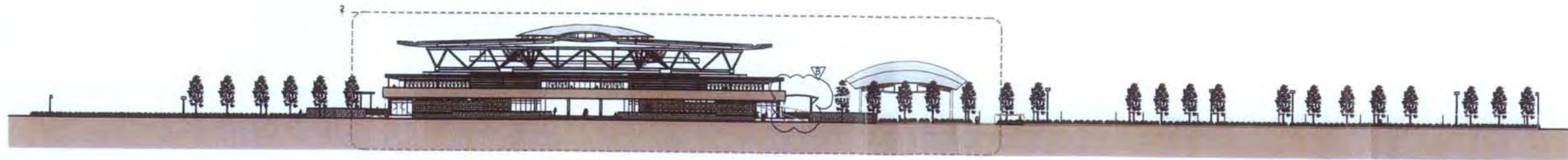
Lot 1 104 Grey Street  
South Brisbane, QLD 4101  
tel. (07) 3866 6666  
fax (07) 3870 0800  
Mirvac Design Pty Ltd  
ABN 75 022 548 100

South ELEVATION  
QUEENSLAND TENNIS CENTRE



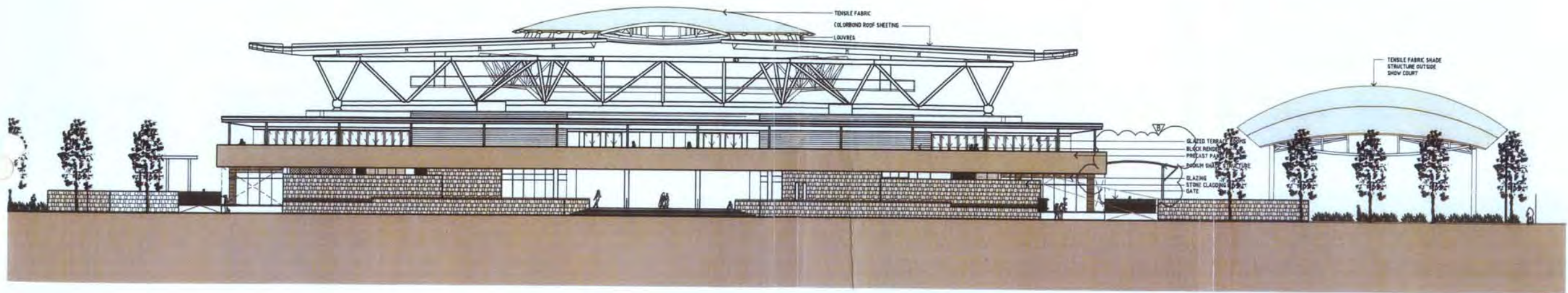
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date	NOV 07	job no.	51711
drawing no.	11-DA1003	sheet no.	8





1 NORTH ELEVATION  
SCALE 1:500

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ISSUED.....  
- 9 OCT 2009  
AS MODIFIED.....



2 NORTH ELEVATION  
SCALE 1:200

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date	rev	amendment
25/11/07	1	ISSUE FOR DEVELOPMENT APPROVAL - L&O
15/11/11	2	REVISED SA - (DN)

date	rev	amendment

project **queensland State Tennis CENTRE**  
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14/3 VM Way Street  
South Brisbane, QLD 4101  
Tel: (07) 3888 0888  
Fax: (07) 3888 0880  
Mircac Design Pty. Ltd.  
ABN 79 083 589 150

**NORTH ELEVATION  
QUEENSLAND TENNIS CENTRE**



FOR APPROVAL

drawn: 11/11/07  
date: NOV 07  
job no: 51711  
scale: A1 1:100 @ A1  
drawing no: 11-DA1002  
BCC:067.0977







Message

Page 1 of 2

⑫

**Shirley Shannon - FW: Tennyson QTC Additional works - PWD drawing**

**From:** "[REDACTED]"  
**To:** "Shirley Shannon" <[REDACTED]>  
**Date:** 29/09/2009 2:29:23 pm  
**Subject:** FW: Tennyson QTC Additional works - PWD drawing  
**CC:** <melissa.hovey@brisbane.qld.gov.au>

Hi Shirley,

Please find attached scale drawing of the amended toilet layout for Council's consideration. I confirm that the pathways are compliant with AS 1428 and the certification process from the building certifier will ensure this is the case.

I have delivered through the colour sample for the podium shade structure via the BCC Development Lounge.

Can you please advise how the additional charge of \$40,000 for infrastructure contributions is calculated?

Regards,

[REDACTED] Planner  
 Brannock and Associates | Level 8, 141 Queen Street, Brisbane  
 Phone [REDACTED] Fax [REDACTED]

\*\*\*\*\*

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**From:** Georgina Madsen [REDACTED]  
**Sent:** Tuesday, 29 September 2009 2:17 PM

**Subject:** Tennyson QTC Additional works - PWD drawing

Hi [REDACTED]

Many thanks

Georgie

**Georgina Madsen**  
 Senior Development Manager  
 Development Queensland

Mimosa

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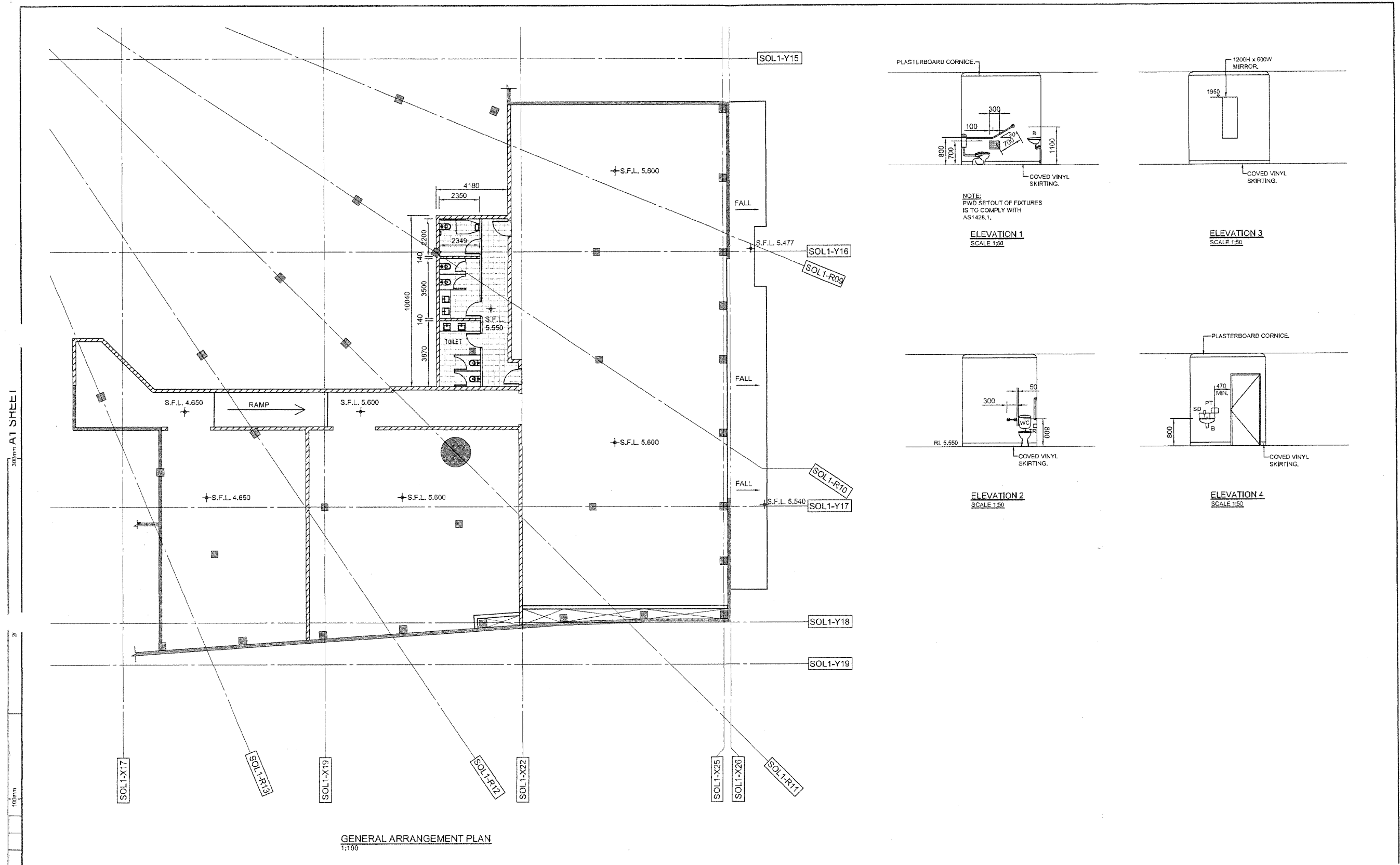
Message

Page 2 of 2

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DISCLOSURE QANTEC McWILLIAM consulting engineers accepts no responsibility for the accuracy or for any consequences resulting from the use or alteration of this drawing in electronic form. Drawings in electronic form should be checked for accuracy against the equivalent hard copy issued by QANTEC McWILLIAM.		DISBURSEMENT This drawing is for construction only. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.		North		SCALES 1:100		CLIENT PROJECT No. 517			
A PRELIMINARY ISSUE		25-09-09 DTA		DATE		INITIALS		DRAWING No. 05B316 13-S2150		ISSUE A	





**Shirley Shannon - RE: Tennyson QTC Additional Works (Application Reference A002289601)**

---

**From:** Shirley Shannon  
**To:** [REDACTED]  
**Date:** 29/09/2009 10:31:34 am  
**Subject:** RE: Tennyson QTC Additional Works (Application Reference A002289601)

---

Thanks [REDACTED] Only that..

1. It is recommended that you revise the drawings to include the PWD toilet.
2. The pathways to the MPR's are to be compliant with AS 1428.

Cheers

Shirley Shannon  
 Senior Urban Planner  
 Development Assessment South  
 Brisbane City Council (BSQ)  
 tel: [REDACTED]

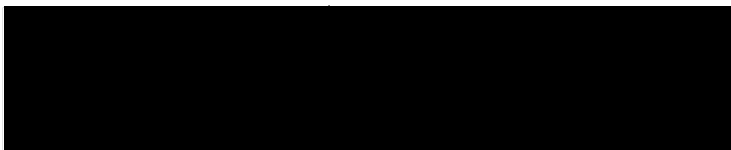
GPO Box 1434  
 Brisbane QLD 4001

>>> [REDACTED] > 29/09/2009 9:13:49 am >>>  
 Hi Shirley,

Please be advised that Mirvac is reviewing an updated plan with the change to the proposed toilets to the new MPR which we will send through today or tomorrow. A fabric sample will also be submitted for the proposed podium shade structures.

Please advise if you require any further information to finalise the approval package.

Regards,



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---

**From:** [REDACTED]  
**Sent:** Wednesday, 23 September 2009 9:46 AM  
**To:** 'Shirley Shannon'  
**Cc:** [REDACTED] n'  
**Subject:** Tennyson QTC Additional Works (Application Reference A002289601)

Hi Shirley,

Please find attached a copy of the Concurrence Agency Response from DPIF advising that they have no requirements for the application.

Please advise if you have all the information required in order to finalise the approval package.

Regards,

\*\*\*\*\*  
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**From:** Mario Furlan  
**To:** Shannon, Shirley  
**Date:** 29/09/2009 10:09:56 am  
**Subject:** Fwd: RE: Tennyson QTC Additional Works (Application Reference A002289601)

Shirley,

With regards to the information response to the above application, The applicant has addressed the issue previously raised.

1. It is recommended that the applicant revise the drawings to include the PWD toilet.
2. The pathways to the MPR's are to be compliant with AS 1428.

Regards

Mario

Mario Furlan  
Architect/Urban Designer  
Development Assessment South  
Customer and Community Services  
Brisbane City Council

>>> Shirley Shannon 29/09/2009 9:31 am >>>  
Hi Mario  
Does this respond to your issues adequately?

Shirley Shannon  
Senior Urban Planner  
Development Assessment South  
Brisbane City Council (BSQ)  
tel: [REDACTED]

GPO Box 1434  
Brisbane QLD 4001



**Shirley Shannon - Fwd: RE: Tennyson QTC Additional Works (Application Reference A002289601)**

---

**From:** Shirley Shannon  
**To:** Furlan, Mario  
**Date:** 29/09/2009 9:31:34 am  
**Subject:** Fwd: RE: Tennyson QTC Additional Works (Application Reference A002289601)

---

Hi Mario  
Does this respond to your issues adequately?

Shirley Shannon  
Senior Urban Planner  
Development Assessment South  
Brisbane City Council (BSQ)  
tel: [REDACTED]

GPO Box 1434  
Brisbane QLD 4001



**Shirley Shannon - RE: Tennyson QTC Additional Works (Application Reference A002289601)**

---

**From:** [REDACTED]  
**To:** "Shirley Shannon" [REDACTED]  
**Date:** 18/09/2009 1:58:17 pm  
**Subject:** RE: Tennyson QTC Additional Works (Application Reference A002289601)

---

Hi Shirley,

In response to the issues raised by Council's Architect, we provide the following response –

Day to day access to the store rooms is via the workshop/maintenance area only.

Day to day access to the new Multi Purpose Rooms (MPR) is via the eastern doors. This area can be accessed by way of lift from the podium, and the eastern pathway is PWD compliant (as required to provide access to the existing MPR). The door and corridor to the western wall of the proposed MPR is to provide an alternative means of egress.

Whilst toilets are not required to the new MPR rooms, we will amend the proposal for amenities at this level to provide a PWD toilet and we will be in a position to submit the revised plan shortly (or council can mark up the existing plan in red to cater for this). Please advise of the preferred option.

In a 1:100 year flood, the clay and grass courts will be under water, along with the existing MPR. The rear walls of the existing MPR and the proposed MPR are fire rated and also acted as a flood wall to ensure water goes no further.

The proposed MPR rooms are not habitable and I do not believe that flood prevention is required. The flood gates are a proprietary item to facilitate the protection of these areas in the event of flood as an option rather than a requirement (refer link below). The flood gates do not impede the day to day function of the facility.

<http://www.floodgateaustralia.com/commercial.html>

Please advise if this information is sufficient to address the issues raised and finalise the approval.

Regards,

[REDACTED]  
 Brannock and Associates | Level 8, 141 Queen Street, Brisbane  
 Phone [REDACTED] | Fax [REDACTED]

\*\*\*\*\*  
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---

**From:** Shirley Shannon [REDACTED]  
**Sent:** Thursday, 17 September 2009 3:47 PM  
**To:** [REDACTED]  
**Subject:** Re: Tennyson QTC Additional Works (Application Reference A002289601)

Hi [REDACTED],  
 The architect has raised a couple of minor issues. Can you please respond.

It is noted that some of the under-croft area (south-western corner) is to be utilized as multi-purpose rooms

in association with store rooms. This large space can be reduced to two rooms with an operable dividing wall. It is also noted that an access corridor is to be provided but this is through the workshop and would only access one room, once divided. There are bi-fold doors along the eastern side with an outdoor area presumably as a spill-out space and not as an entry point. It remains unclear as to how people access the rooms. It is also unclear how equitable access is achieved. The applicant to demonstrate how people (including PWD's) are to access the multi-purpose rooms. The toilets should include PWD toilets. This relates to issue 3.

3. It is noted that the town planning report states that these rooms will also be used as playing training and development. However, it appears that a flood barrier is to be incorporated along the door openings (eastern side). It is questionable as to how these protection barriers will operate in terms of flooding. The applicant should demonstrate how these barriers will work.

Many thanks.

Shirley Shannon  
Senior Urban Planner  
Development Assessment South  
Brisbane City Council (BSQ)  
tel: [REDACTED]

GPO Box 1434  
Brisbane QLD 4001

>>> [REDACTED] " [REDACTED] > 17/09/2009 3:14:53 pm >>>  
Hi M [REDACTED],

Sorry for the delay getting back to you. Following our telephone discussion yesterday, please find below details of the usage of the proposed undercroft spaces as requested, for the purpose of calculating infrastructure charges.

#### Multi Purpose Rooms

1. National Academy player training and development
2. Additional Gymnasium equipment for cardiovascular training

#### Storage Areas

1. Spare dining tables, seating
2. Event / Tournament Signage
3. Temporary seating
4. Showcourt umpire chairs
5. Storage of TQ equipment during Brisbane International bump-in

Please advise if this information is sufficient or if you need any further detail.

Regards,

[REDACTED]  
Brannock and Associates | Level 8, 141 Queen Street, Brisbane  
Phone [REDACTED] | Fax [REDACTED]

\*\*\*\*\*

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**Shirley Shannon - RE: Tennyson QTC Additional Works (Application Reference A002289601)**

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Please advise if this information is sufficient to address the issues raised and finalise the approval.

Regards,

[REDACTED] Planner  
 Brannock and Associates | Level 8, 141 Queen Street, Brisbane  
 [REDACTED] | Fax [REDACTED]

\*\*\*\*\*

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Many thanks.

Shirley Shannon  
Senior Urban Planner  
Development Assessment South  
Brisbane City Council (BSQ)  
tel: [REDACTED]

GPO Box 1434  
Brisbane QLD 4001

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3. Temporary seating
4. Showcourt umpire chairs
5. Storage of TQ equipment during Brisbane International bump-in

Please advise if this information is sufficient or if you need any further detail.

Regards,

[REDACTED] | Planner  
Brannock and Associates | Level 8, 141 Queen Street, Brisbane  
Phone [REDACTED] | Fax [REDACTED]

\*\*\*\*\*

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**Shirley Shannon - Tennyson QTC Additional Works (Application Reference A002289601)**

---

**From:** [REDACTED]  
**To:** [REDACTED]  
**Date:** 17/09/2009 3:15:33 pm  
**Subject:** Tennyson QTC Additional Works (Application Reference A002289601)  
**CC:** "Shirley Shannon" [REDACTED]

---

Hi [REDACTED]

Sorry for the delay getting back to you. Following our telephone discussion yesterday, please find below details of the usage of the proposed undercroft spaces as requested, for the purpose of calculating infrastructure charges.

Multi Purpose Rooms

1. National Academy player training and development
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Please advise if this information is sufficient or if you need any further detail.

Regards,

[REDACTED]  
[REDACTED]

Phone [REDACTED]

\*\*\*\*\*

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Please direct all enquiries to the message author.

---

**From:** Mario Furlan  
**To:** Shannon, Shirley  
**Date:** 14/09/2009 2:57:15 pm  
**Subject:** RE - 27 Sofstone St, Tennyson

Shirley,

Further to the above application, there following items need to be addressed.

**Summary:**

The proposal is to construct two shaded structures and refurbish part of the under-croft to the south-eastern corner of the State Tennis Centre at 27 Softstone Street, Tennyson. It is considered that there are some issues in relation to pedestrian access to this under-croft area and resolution of flooding management.

**Comments/Issues:**

1. It is noted that two long shade structures are to be provided along the western concourse of the main tennis stadium. It is also noted that shading structures are to be incorporated adjacent the external tennis courts (to the west). It is considered that the provision of having extra shaded areas is beneficial for the general public. It is also considered that these areas could double up as viewing areas to the courts.
2. It is noted that some of the under-croft area (south-western corner) is to be utilized as multi-purpose rooms in association with store rooms. This large space can be reduced to two rooms with an operable dividing wall. It is also noted that an access corridor is to be provided but this is through the workshop and would only access one room, once divided. There are bi-fold doors along the eastern side with an outdoor area presumably as a spill-out space and not as an entry point. It remains unclear as to how people access the rooms. It is also unclear how equitable access is achieved. The applicant to demonstrate how people (including PWD's) are to access the multi-purpose rooms. The toilets should include PWD toilets. This relates to issue 3.
3. It is noted that the town planning report states that theses rooms will also be used as playing training and development. However, it appears that a flood barrier is to be incorporated along the door openings (eastern side). It is questionable as to how these protection barriers will operate in terms of flooding. The applicant should demonstrate how these barriers will work. It is also considered that this may require engineering input. This issue to be commented by the Hydraulic Engineers.

Should you wish to discuss further, please call me.

Regards

Mario

Mario Furlan  
Architect/Urban Designer  
Development Assessment South  
Customer and Community Services  
Brisbane City Council



**From:** [REDACTED]  
**To:** Shannon, Shirley  
**Date:** 7/09/2009 5:07:14 pm  
**Subject:** 27 Softstone St Tennyson State Tennis Ctr A002381998 Modification

Hi Shirley,

The modification will not have any impact on engineering conditions that were previously set.

I have sent a request to ICP Unit for advise if there are any increase in ICP as a result.

Regards,

[REDACTED] | Engineering Officer

Brisbane City Council | Development Assessment  
266 George St Brisbane Qld 4000 | GPO Box 1434 Brisbane Qld 4001  
[REDACTED]



Dedicated to a better Brisbane

Brisbane City Council

# MEMORANDUM

To Mario F. Paul Hills Date 01/09/09

Attn Phone

CC

From Shirley Shanna

Re 27 Softstone St, Tennyson

Please assess the modification and email me any comments as soon as practical.

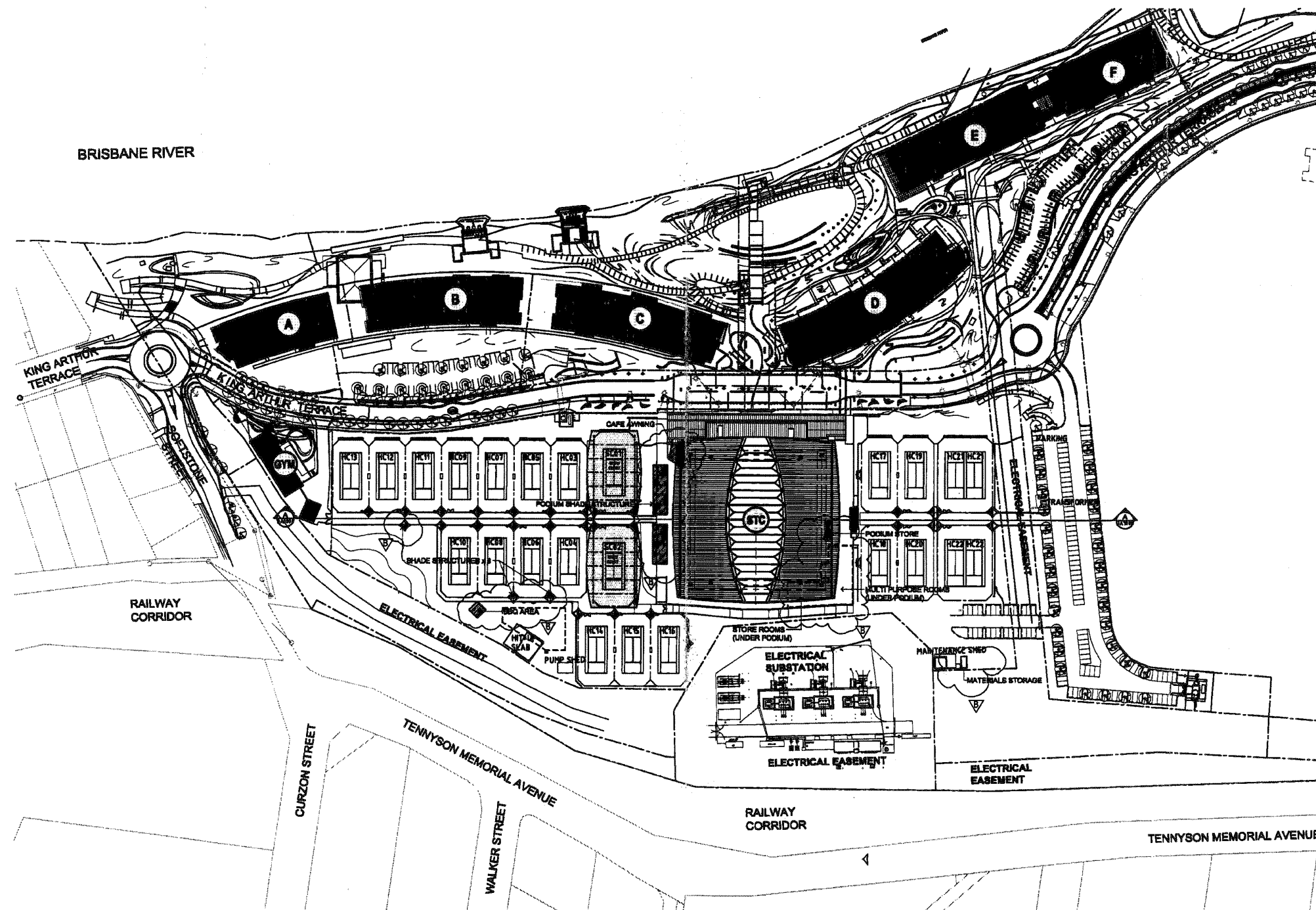
Due 11 Sept 09.

Please return plans for approval.

Thanks  
Shirley

Yelp -





**FOR APPROVAL**



date	rev	description
10/10/17	A	REVISED DA - 10/10/17
10/10/17	B	REVISED DA - 10/10/17

date	rev	description

project **queensland State Tennis CENTRE**

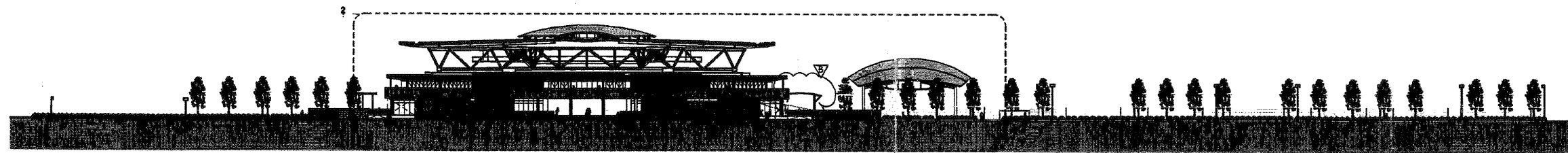
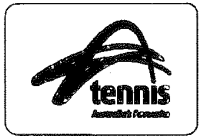
**MIRVAC DESIGN**

1/13 10/10/17  
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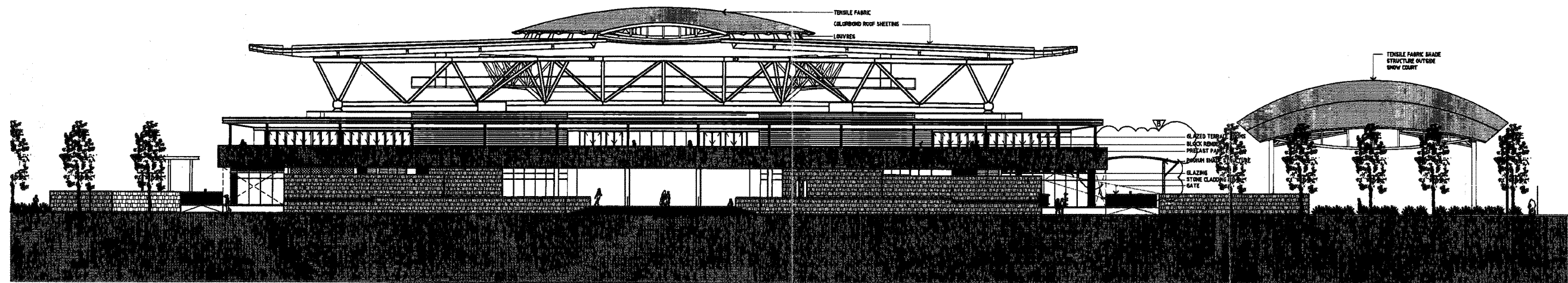
**QUEENSLAND TENNIS CENTRE  
MASTER SITE PLAN**

date	NOV 07	scale @ A1	1:1000 @ A1
job no.	51711	drawing no.	11-DA1001

BCC-133.1240



1 NORTH ELEVATION  
SCALE 1:500



2 NORTH ELEVATION  
SCALE 1:500



date	rev	description
23/10/17	A	ISSUE FOR DEVELOPMENT APPROVAL - UG
16/01/18	B	REVISED DA - UG

date	rev	description

project **Queensland State Tennis CENTRE**

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14/1 100 King Street  
Brisbane, QLD, 4000  
U.S. 602 8888 8888  
U.S. 602 8888 8888  
U.S. 602 8888 8888

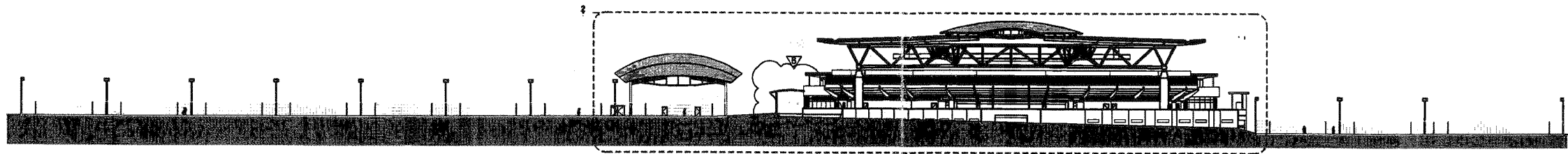
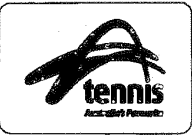
**NORTH ELEVATION  
QUEENSLAND TENNIS CENTRE**



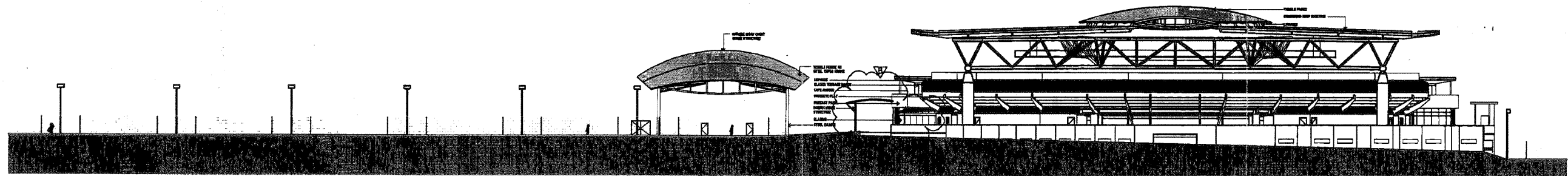
**FOR APPROVAL**

date	NOV 17	scale @ A1	1:100 @ A1
job no.	51711	drawing no.	11-DA1002
			BCC.133.1241





1 SOUTH ELEVATION  
SCALE 1:500



2 SOUTH ELEVATION  
SCALE 1:500



date	rev	description
25/10/17	A	ISSUE FOR DEVELOPMENT APPROVAL - IAD
05/04/18	B	REVISED IAD - IAD2

date	rev	description

project **queensland State Tennis CENTRE**

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**MIRVAC DESIGN**  
architects  
planners  
interior designers

Unit 10, Bay Street  
South Brisbane, QLD 4101  
t: 07 555 5555  
f: 07 555 5555  
www.mirvacdesign.com.au  
ABN 78 655 555 555

**SOUTH ELEVATION  
QUEENSLAND TENNIS CENTRE**

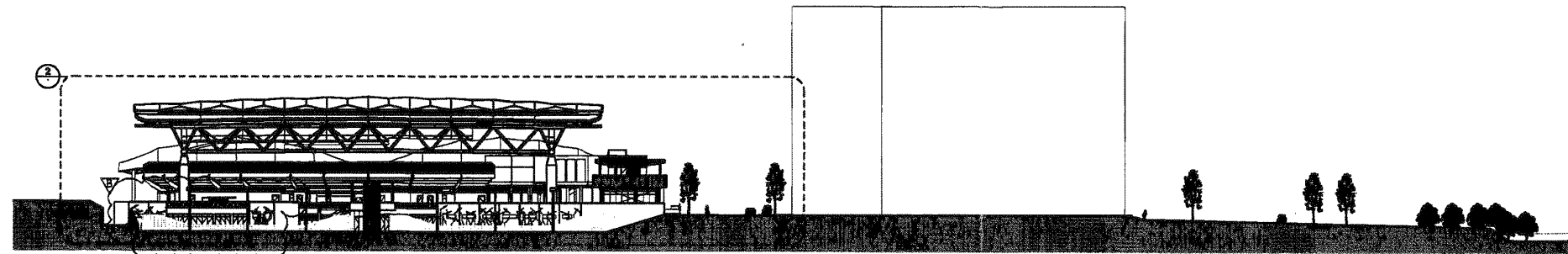


**FOR APPROVAL**

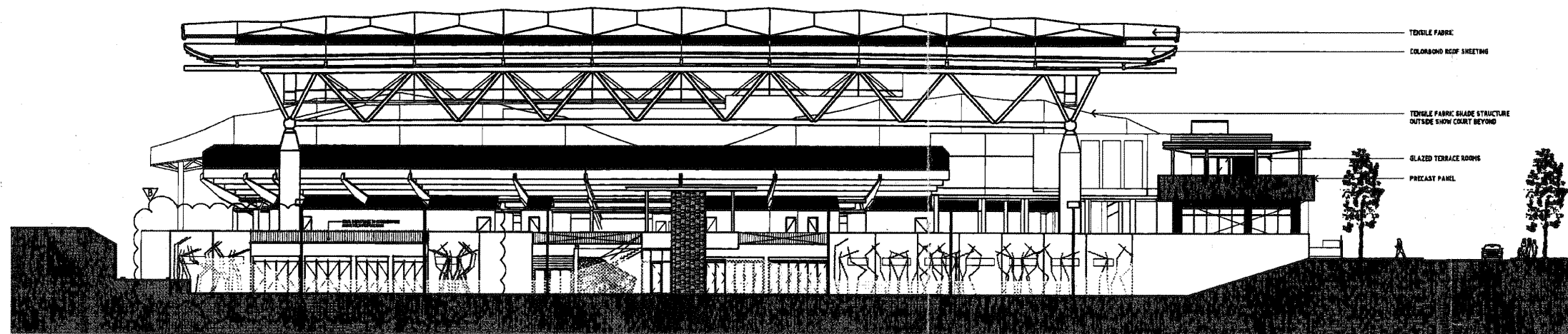
drawn  
date NOV 07  
job no. 51711

scale @ A1 AS SHOWN @ A1  
drawing no. 11-DA1003

5/17/17 (11-DA1003) - 06/11/2017 - 10:20:01 AM  
BCC: T33.1242



**1 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE 1/2"=1'-0"



date 23/11/87 05/08/89	REV A C	amendment ISSUE FOR DEVELOPMENT APPROVAL - (A1) REVISED DA. - (END)
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[illegible]

**project** **queensland**  
**State Tennis**  
**C E N T R E**

**MIRVAC  
DESIGN**  
architects  
planners  
interior designers

1425 W. 101st Street  
Overland Park, KS 66209  
tel. (913) 662-0800  
fax. (913) 662-1000

MIRVAC Design P.C. Ltd.  
Attn: FR 002-002-002

EAST ELEVATION  
QUEENSLAND TENNIS CENTRE



**FOR APPROVAL**

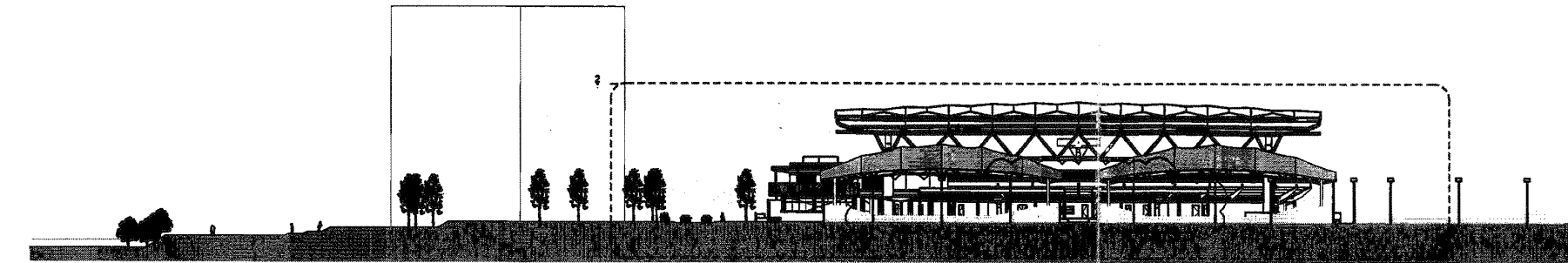
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date NOV 07 scale @ A1 AS SHOWN @ A1

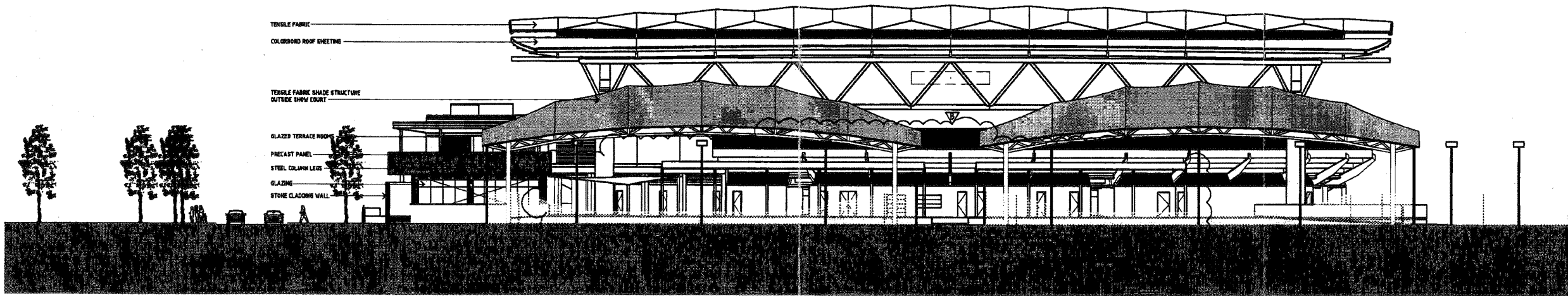
job no. 51711 drawing no. 11-DA1004 rev. B

BCC: F33, F243





1 WEST ELEVATION  
SCALE 1:500



2 WEST ELEVATION  
SCALE 1:200



date	rev	amendment
15/11/17	A	ISSUE FOR DEVELOPMENT APPROVAL - IAC
15/11/17	B	REVISED IAC - IAC

date	rev	amendment

project **queensland State Tennis CENTRE**

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**MIRVAC DESIGN**

ARCHITECTS

10/100 Stirling Street, North Brisbane, QLD, 4101  
Tel: (07) 3399 8888  
Fax: (07) 3399 8888  
Address Design Pty. Ltd.  
ABN 74 609 185 188

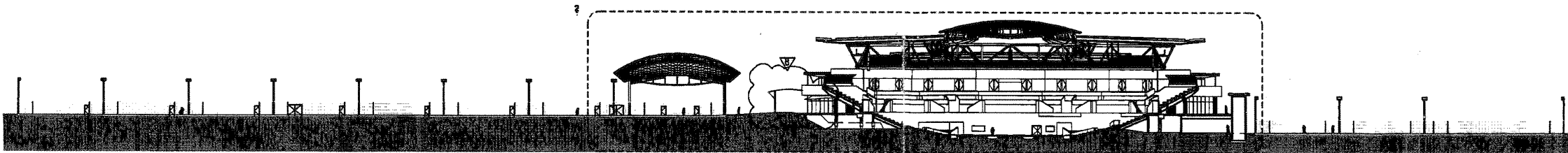
WEST ELEVATION  
QUEENSLAND TENNIS CENTRE



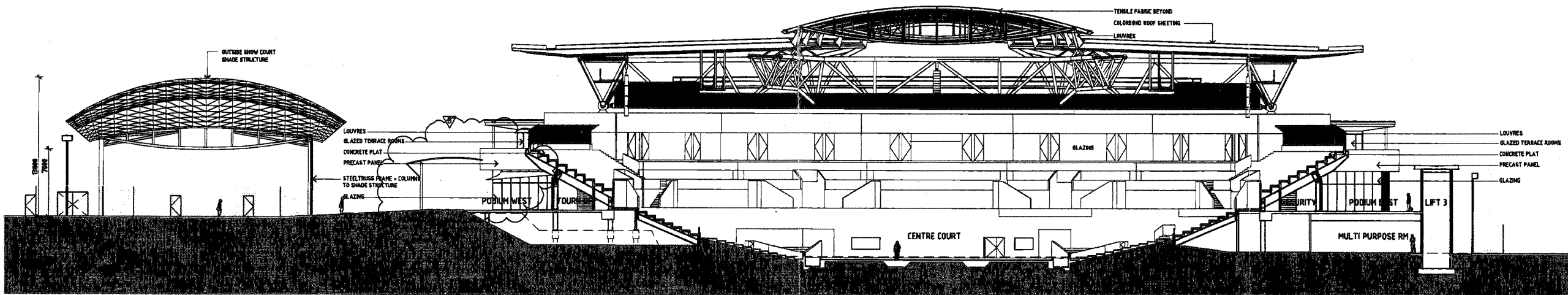
FOR APPROVAL

drawn	11/5/17-REVISED IAC-DA/18/18/18- 06/11/2017- 10:22:56 AM
date	NOV 17
scale	@ A1
job no.	61711
drawing no.	11-DA1005
	B

BCC-133.1244



**A SECTION AA**  
SCALE 1:500



**2 SECTION AA**  
SCALE 1:200



date	rev	amendment
13/01/11	A	ISSUE FOR DEVELOPMENT APPROVAL - IAD
15/04/11	B	REVISED IAD - IAD

date	rev	amendment

project **queensland State Tennis CENTRE**

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1/11/11 10:00 AM  
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1/11/11 10:00 AM

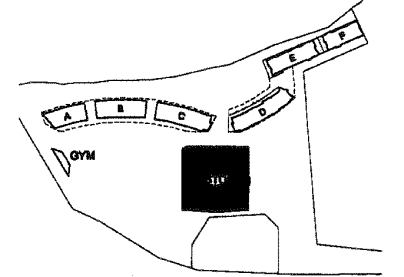
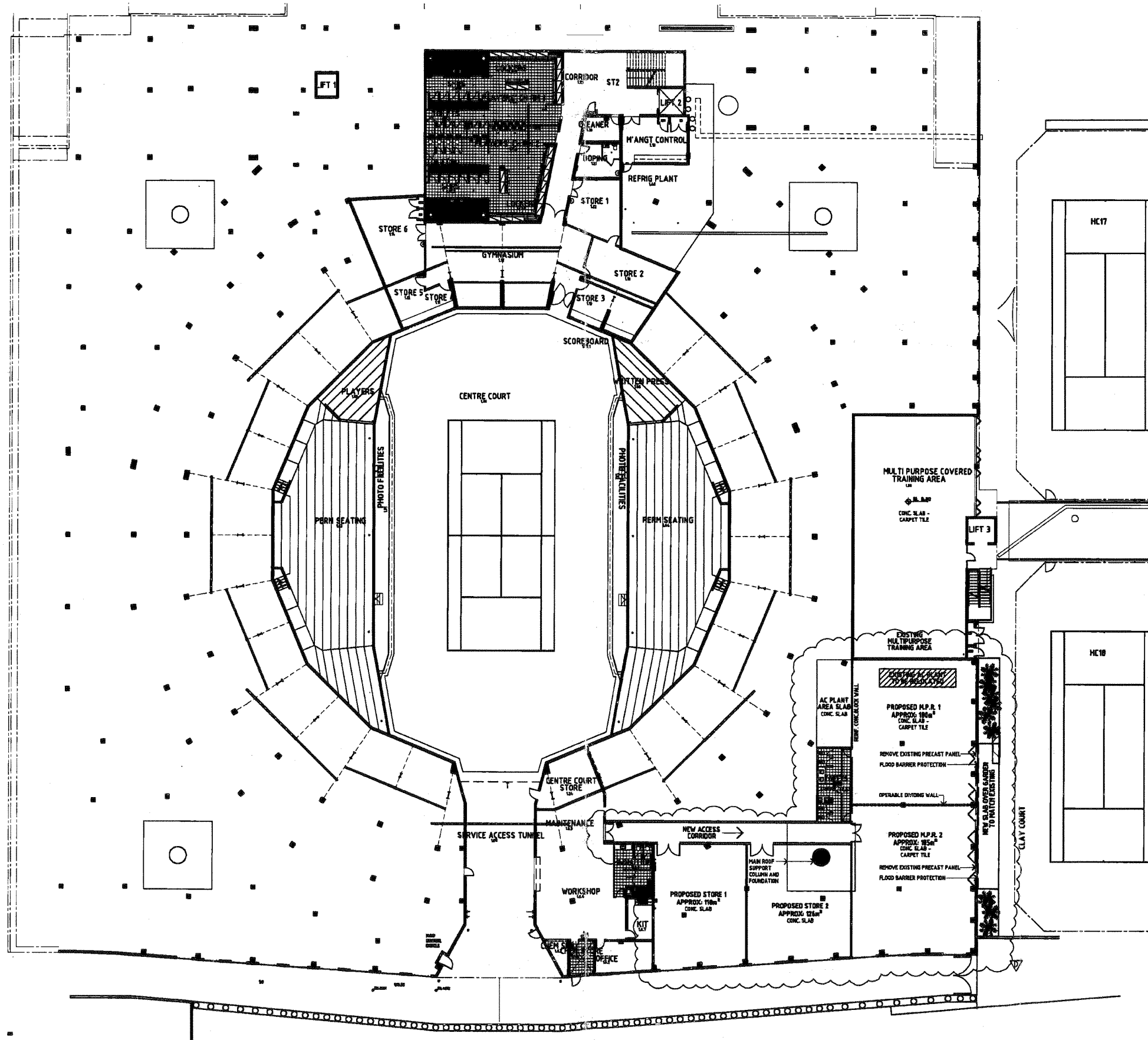
**SECTION AA**  
**QUEENSLAND TENNIS CENTRE**



**FOR APPROVAL**

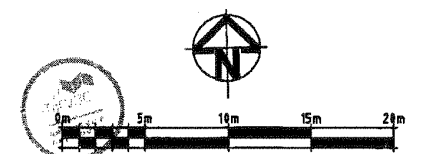
drawn	5/11/11	checked	11-DA1006
date	NOV 07	scale	A1 AS SHOWN @ A1
job no.	51711	drawing no.	11-DA1006





**LEGEND - PLANS**

77777	ACCESS ZONE FOR CIRCULATION AND ESCAPE
A	INTERMEDIATE STOPS ARE NOT REQUIRED IN THIS ZONE
OB	CONCRETE BEATING
OSP	CONCRETE BEATING PLATE
PWMA	PEOPLE WITH DISABILITIES - ACCESS PATH



date	rev	description
13/10/15	1	State Government Tender 1 & R.F.R. - DPG
14/10/15	2	QA ISSUE - DPG
15/11/15	3	REVISED QA - DPG

date	rev	description

Project: **Queensland State Tennis Centre**

Design: **MIRVAC DESIGN**

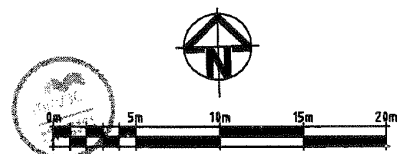
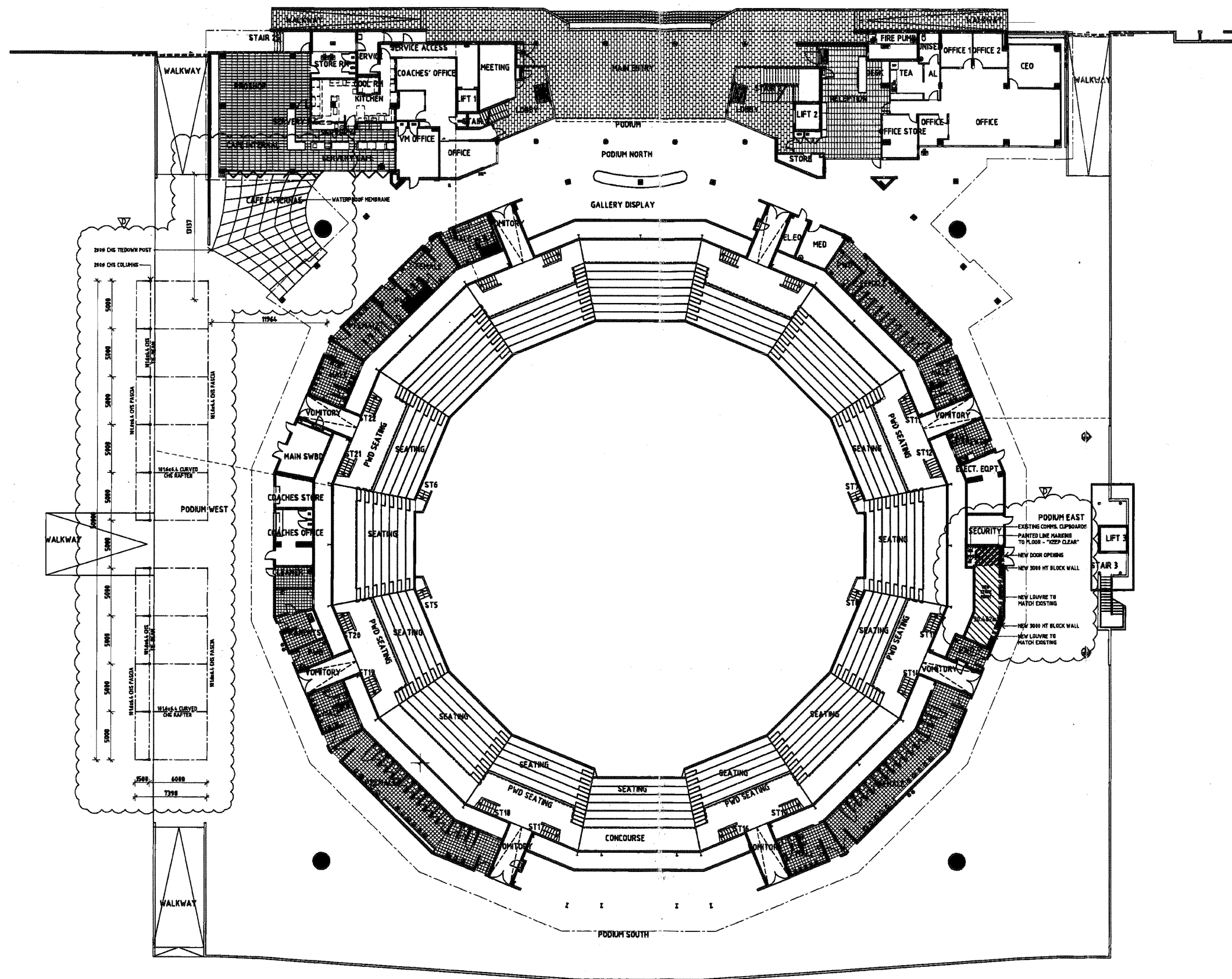
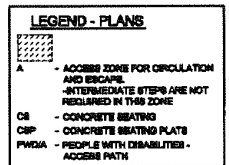
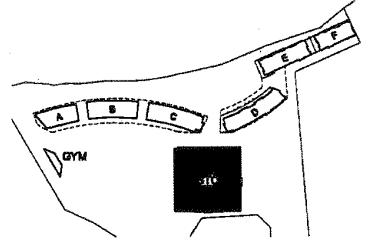
Scale: 1:1000

Job no: 51711



**QUEENSLAND TENNIS CENTRE**  
GENERAL ARRANGEMENT PLAN  
LEVEL 1

date	AUG 85	scale	@ A1 1:200 @ A1
job no.	51711	drawing no.	11-DA1011



date: ALJG 05  
job no. 51711  
drawing no. 11-DA1042



date	REV	DESCRIPTION
07/21/85	B	State Government Information E.N.P.A. - (SFO)
08/11/85	C	DA KISUMU - (SFO)
08/01/86	D	REVISED DA - (SFO)

[illegible]

project **QUEENSLAND**  
**State Tennis**  
CENTRE

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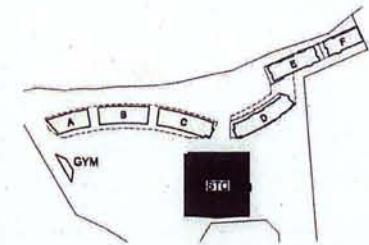
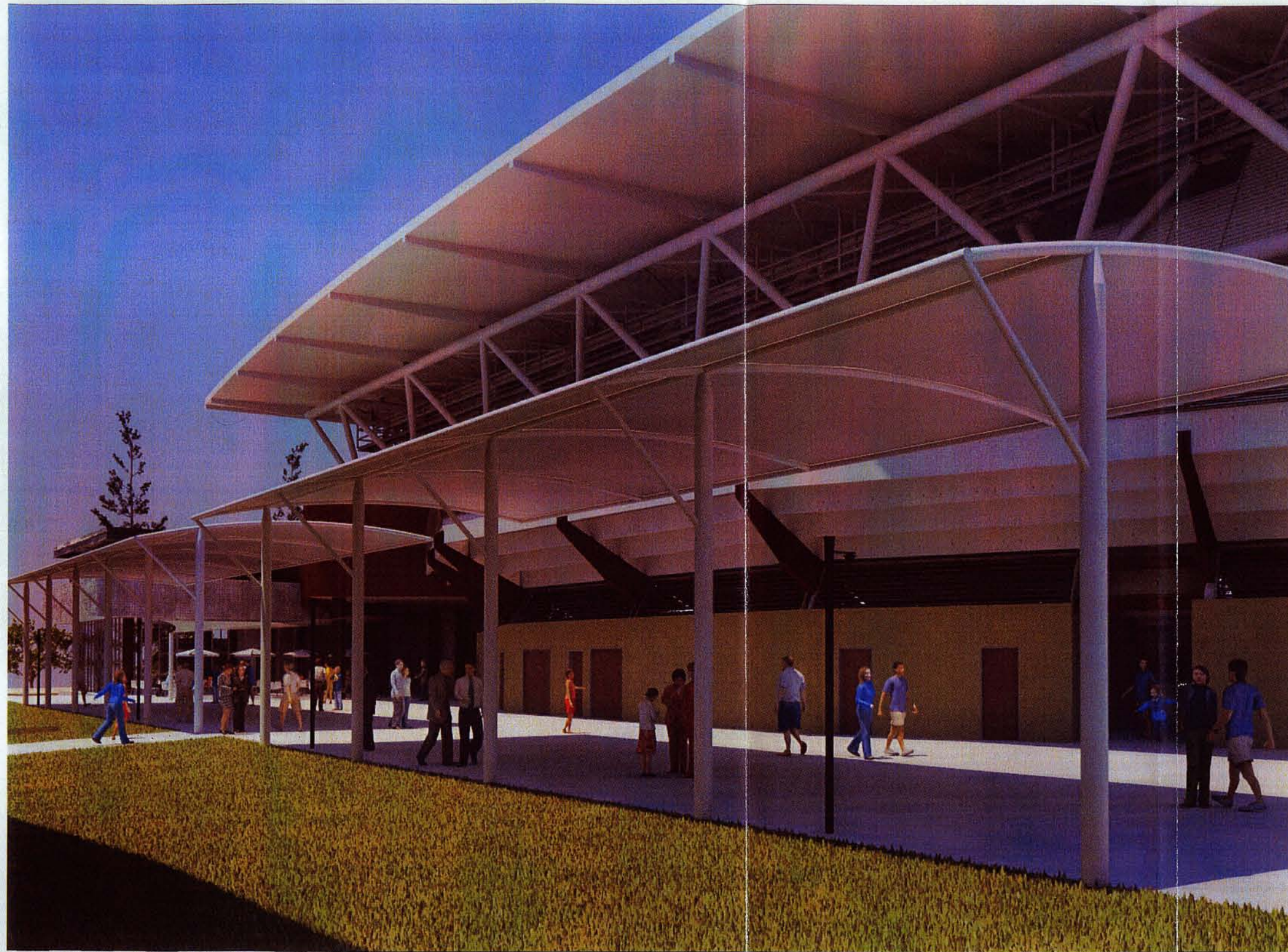
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AIA 700 000 222 000

QUEENSLAND TENNIS CENTRE  
FLOOR PLAN - LEVEL 2





date	rev	amendment
14/08/99	A	REVISED DA - 1994

date	rev	amendment

project **queensland State Tennis CENTRE**

**MIRVAC DESIGN**

14/3 194 Grey Street  
Brisbane, QLD 4000  
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Mirvac Design Pty Ltd  
ABN 79 002 558 100

Site

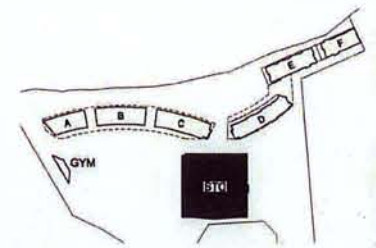
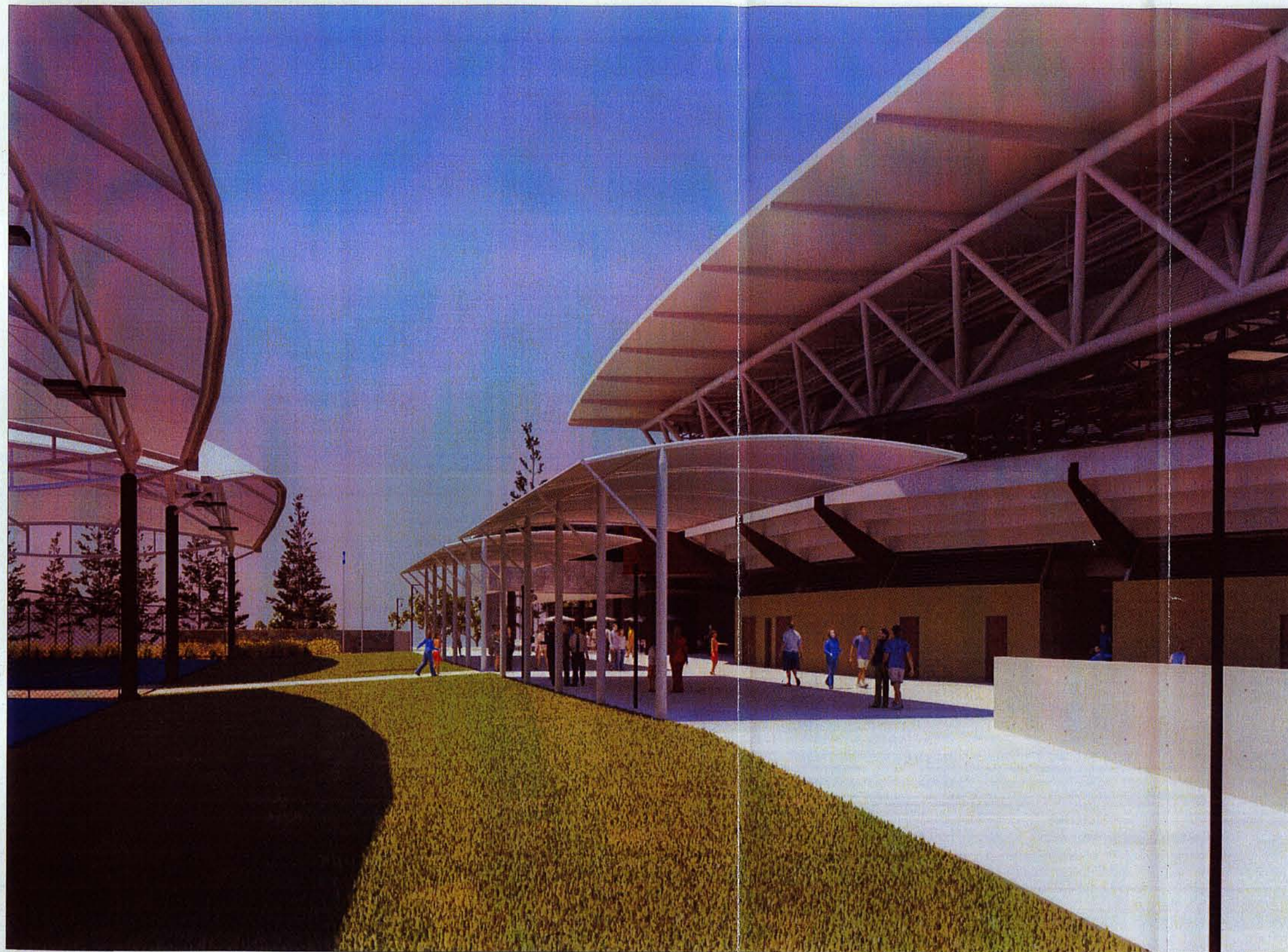
**QUEENSLAND TENNIS CENTRE  
PROPOSED PODIUM SHADE STRUCTURE  
VIEW 1 FROM SOUTH-WEST CORNER**



drawn  
date AUG 99  
job no. 51711

51711/111-mirvac (11-DA1950A) - 08/Aug/2009 - 01:13:39 PM  
scale @ A1 N.T.G.  
drawing no. **11-DA1950**  
BCC: T33.T248





date	rev	amendment
06/04/11	A	REVISED DA - 1042

date	rev	amendment

project **queensland State Tennis CENTRE**



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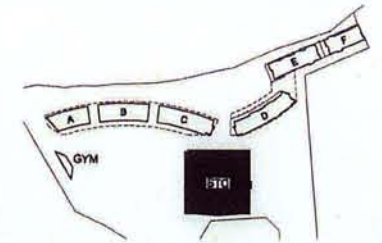
Site  
**QUEENSLAND TENNIS CENTRE  
PROPOSED PODIUM SHADE STRUCTURE  
VIEW 2 FROM SOUTH-WEST CORNER**



drawn  
date AUG 00  
job no. 51711

scale 1:1 N.T.G.  
drawing no. 11-DA1951  
BCC 133.1249





date	rev	amendment
14/08/11	A	REVISED SA - (DNL)

date	rev	amendment

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ABN 70 023 889 100

file

**QUEENSLAND TENNIS CENTRE  
PROPOSED PODIUM SHADE STRUCTURE  
VIEW FROM NORTH-WEST CORNER**



drawn  
date AUG 08  
job no. 51711

11/17111-revision 11-DA1852-A1- 30/8/2008- 01:12:28 PM

scale @ A1 N.T.C.  
drawing no. **11-DA1852-A**  
BCC: 133.1250



## Form 2 Development Application

idas

# Request to change an existing approval

A002381998

19/60/382/163-07

13 AUG 2009

## Details of person making the request

1. Who is making the request?

Company/organisation name (If applicable)		Mirvac Queensland Pty Ltd c/- Brannock & Associates	
Individual applicant/Contact person (If there is more than one applicant, provide details under Add another applicant)			
Title	Mr	First name	[REDACTED]
		Last name	[REDACTED]
Postal address		GPO Box 552, Brisbane, Qld 4001	
Contact telephone number	[REDACTED]	Mobile phone number	[REDACTED]
Facsimile number	[REDACTED]	e-mail address	[REDACTED]

## Details of the existing approval

2. What are the details of the approval sought to be changed

Type of approval	Identification number	Date issued	Assessment manager (If request not made to the assessment manager)
<input checked="" type="checkbox"/> Development Permit	A002289601	26 June 2009	[REDACTED]
<input type="checkbox"/> Preliminary Approval			

## Identification of the premises

3. Can any part of the premises be identified by a street address or lot on plan description?

☐ No - Answer Q3(a)☒ Yes - Complete Table B and Q3(b)

Table B

Street Address				Lot on plan description		Local government area
Unit Number	Street number	Street Name and official suburb/locality name	Post code	Lot No	Plan type and number	
1	27	Softstone Street, Tennyson		7	SP214201	Brisbane

3(b). Can the address be further described by shop/tenancy number or storey/level?

☒ No☐ Yes - Complete Table C



4. Can the premises best be identified by coordinates (e.g. for development proposed in waters, or on a site within a large rural lot)?

- ☒ No  
☐ Yes - Complete Table D

5. What is the total area that makes up the premises (i.e. the area covered by the application)?

Area of land above high water mark/outside watercourse		Area in a water body or watercourse	
11.29	<input type="checkbox"/> m <sup>2</sup> <input checked="" type="checkbox"/> hectares <i>(Tick applicable unit)</i>		<input type="checkbox"/> m <sup>2</sup> <input type="checkbox"/> hectares <i>(Tick applicable unit)</i>

#### Owner's consent and resource owner's agreement

6. Is the person making the request the owner of the land to which the approval attaches?

- ☐ Yes      ☒ No - Complete Table E - provide details for each owner on a separate row, or on an attachment to this form if applicable. Note: Advice provided at the end of this form details when owner's consent is not required.

Table E

	Owner's name/s and postal address	Details of the premises owned (street address or lot on plan description)	Signature*	Date written consent was obtained
1	refer to attached owners consent letter			

\* Owner's signature can not be provided on the form if you intend to submit the application electronically. Owner's consent must be provided to the assessment manager on an attachment containing appropriate written documentation of the owner's consent. If the owner is a company the company must sign as owner. S127 of the *Corporations Act 2001* (Cwealth) details how a company may execute a document.

7. If an application for the existing approval were being made now (i.e. at the time of making this request), would evidence be required to support the application because it involved taking or interfering with a State-owned resource prescribed by schedule 10 of the *Integrated Planning Regulation 1998* (IP Reg) or any other regulation

- ☒ No      ☐ Yes - Complete Table F and submit, with the application, written agreement to the request.

#### Nature of the request

8. What is the nature of the request for change? (Tick the applicable box/es)

- ☐ An extension of the period before an approval lapses (under IPA, section 3.5.22)  
☒ To change the development approval other than a change of condition (under IPA, section 3.5.24)  
☒ To change or cancel a condition of approval (under IPA, section 3.5.33) - Go to Q11  
☐ To change conditions of a rezoning approval given under the *Local Government (Planning and Environment) Act 1990* (under IPA, section 6.1.35A) - Go to Q12

9. Were one or more concurrence agencies involved in the approval?

- ☐ No      ☒ Yes - Complete Table G. Submit, with the application, a copy of the notice required to be sent to each agency under IPA sections 3.5.22(1)(a) and 3.5.24(1)(b).

Table G

	Each concurrence agency (use a separate row for each agency)	Date notice sent
1	Department of Main Roads	13-Aug-2009
2	Queensland Transport	13-Aug-2009
3	Environmental Protection Agency - Contaminated Land, Coastal Licensing	13-Aug-2009
4	Department of Primary Industries and Fisheries	13-Aug-2009

10. Does the request for change relate to an aspect of the approval that involved a building referral agency?

- ☒ No      ☐ Yes - Complete Table H. Submit, with the application, a copy of the notice required to be sent to each agency under IPA section 3.5.24(1)(b).

**Details and reasons or justification for the request**

11. What are the details of the requested change and the reasons or justification for the change? *Use a different row for each change if more than one.*

	Details of requested change (including extension of the period if relevant)	Reasons or justification for the requested change
1	Refer to attached letter prepared by Brannock & Associates	

**Mandatory attachments and information**

12. What are the mandatory attachments and supporting information accompanying this application?

	Description of attachment or information (e.g. notice to concurrence /building referral agencies, owner's consent, resource owner's agreement, drawings, reports)	Title and date (if applicable) (e.g. James Street Traffic Report)	Method of delivery to assessment manager
1	Owner's Consent Letter		over the counter
2	Architectural Drawings		over the counter
3	Application letter	Letter prepared by Brannock & Associates, dated 13.08.09	over the counter

**OFFICE USE ONLY**

Date Received

Reference Numbers

Cost Code (applicable to EPA only) 433062  
(ERAs)





13 August 2009

OUR REF: MIRVAC\_Tennyson Tennis Centre Amendments\DA2\_L01-V04

The Chief Executive Officer  
Brisbane City Council  
GPO Box 1434  
Brisbane QLD 4001  
**Attention: Senior Urban Planner, Development Assessment South**

Dear Sir,

**RE: APPLICATION UNDER SECTIONS 3.5.24 AND 3.5.33 OF IPA TO CHANGE DEVELOPMENT PERMIT FOR MATERIAL CHANGE OF USE – DEVELOPMENT PERMIT FOR INDOOR SPORT AND RECREATION, CONVENTION CENTRE, RESTAURANT, OFFICE AND SHOP AT 27 SOFSTONE STREET, TENNYSON, APPLICATION REFERENCE: A002289601 (PREVIOUSLY 933802: DA)**

This request is made on behalf of Mirvac Queensland Pty Ltd in accordance with section 3.5.24 and 3.5.33 of the *Integrated Planning Act 1997 (IPA)* relating to the development permit issued for a Material Change of Use Indoor Sport and Recreation, Convention Centre, Restaurant, Office and Shop of the Tennyson Riverside Development.

The proposed modifications are confined to the Queensland Tennis Centre (QTC) and are solely contained within Lot 7 on SP214201 owned by Stadiums Queensland.

This amendment requests a minor change to the current conditions package dated 26 June 2009, Version 8 of the Approval package, which incorporates all previous changes to the conditions of approval. Accordingly, modification of the existing development approval is sought under sections 3.5.24 and 3.5.33 of the Integrated Planning Act.

It is considered that the proposed amendments to the approved plans are relatively minor in nature and the proposed changes do not result in an increase in intensity of use or an increase in capacity of the Queensland Tennis Centre.

A change to **condition 31** of the Development Permit will be required as a result of the proposed changes, in addition to including revised drawings in the list of Approved Drawings component of the Decision Notice. A detailed description of the changes to the Development Permit sought is provided further in this submission.



The scope of additional works for the Queensland Tennis Centre are summarised in the table below. The additional floor area associated with these additional works will not result in a change or intensification of the existing approved use, rather will facilitate more efficient operations for the facility.

New Works	Additional floor area
<p><b>1. New Undercroft Multi Purpose Room (MPR)</b></p> <p>Additional multi-purpose accommodation under the existing podium adjacent to the existing multi-purpose room. Works will include both alterations to the existing eastern external wall (adjacent the clay courts) to facilitate access to the space and the relocation of mechanical plant and stormwater plumbing within the undercroft space. The MPR is proposed to provide clear span accommodation (similar to the existing MPR accommodation) with ancillary toilet/washroom facilities. Secondary egress will also be provided by way of corridor exiting to the west of the room as shown on DA1011 rev D. The MPR will be utilised for playing training and development, along with the existing MPR.</p>	407m <sup>2</sup> GFA
<p><b>2. New Undercroft Storage Rooms – 118 m<sup>2</sup> + 126 m<sup>2</sup></b></p> <p>New store rooms abutting the southern wall under the existing podium. The rooms are proposed to store event equipment when not in use (such as nets, tables and chairs). This equipment is currently stored under the podium. They are proposed to be accessed by way of a new corridor to be constructed linking with the existing maintenance workshop.</p>	244m <sup>2</sup>
<p><b>3. New Store Room under stadium plats</b></p> <p>The enclosure of an existing open space at podium level under the eastern façade of the stadium for storage purposes.</p>	31m <sup>2</sup> GFA
<p><b>4. New Podium Shade Structures on Western concourse</b></p> <p>New lightweight steel and fabric shade structures to shade large areas of the western podium concourse area which are affected by heat and the western sun. The primary purpose of these permanent structures is to provide shade to spectators, particularly in event mode. Structural support is proposed to be located on the podium (refer drawing DA1620 rev A) with shade fabric tensioned over curved rafters canti-levered over the podium concourse. Clearance of the structure is approximately 4.5 metres above the podium so as not to inhibit "bump in" during event mode.</p>	nil



<b>5. New Café Shade Structure</b> New Lightweight steel and waterproof membrane shade structure to area outside café. Currently this area is shaded by way of umbrellas fixed to the podium, which are limited in terms of weather protection.	nil
<b>6. New Spectator Seating and Shade to external courts</b> Additional shade structures at the corners of the furthestmost external courts are proposed to provide spectator shade seating for these courts in day-to-day mode. Each shade structure is identical to that existing.	
<b>7. New BBQ Area</b> A new BBQ area is proposed near the grassed hill area to allow patrons to utilise during/after tennis days and matches.	nil
<b>8. New Materials Storage</b> This minor structure will provide a delineated area for the storage of sand required for the maintenance of clay and grass courts.	nil

In accordance with the definition of Gross Floor Area (GFA) under Brisbane City Plan, the proposed new works constitute an additional **438m<sup>2</sup>** of GFA. Equipment rooms are excluded for the purposes of calculating gross floor area.

Under the *Integrated Planning Act*, sections 3.5.24 and 3.5.33 are the relevant provision against which to assess the proposed new works.

## Process for Amending Approval

### Section 3.5.24 – Minor Change:

This section allows a person to request a 'minor change' to a development approval in accordance with section 3.5.24 of *IPA*. This request is required to be made to Council, as the assessment management, and each applicable concurrence agency. In this case, the applicable concurrence agencies are:

- Department of Main Roads
- Queensland Transport
- Department of Primary Industries and Fisheries
- Environmental Protection Agency – Coastal Licensing
- Environmental Protection Agency – Contaminated Land Unit

For completeness, the application will be referred to all agencies. The proposed works are not expected to impact on the interests of the above agencies.

Under IPA, a 'minor change' means:

*"a change to the approval that would not, if the application for the approval was remade including the change-*

- (a) require referral to additional concurrence agencies; or*
- (b) cause development previously requiring only code assessment to require impact assessment; or*
- (c) for a development permit requiring impact assessment – be likely, in the assessment manager's opinion, to cause a person to make a properly made submission objecting to the proposal, if the circumstances allowed."*

In this case, no additional concurrence agencies are triggered as a result of the proposed modification.

The original application for the Queensland Tennis Centre, transport infrastructure and associated residential development was Impact Assessable and accordingly was publicly notified. Three properly made submissions were made in response to the application. The grounds of objection forming the basis of these submissions were:

- The inadequacy of the existing railway overbridge on Softstone Street and the need for the bridge to be widened to cater for increased bus and other traffic to sporting events.
- The application does not adequately upgrade Ortive Street in terms of street construction, electricity lines and stormwater drainage.
- The proposed development will have a variety of detrimental impacts on the premises at 52 Ortive Street including noise, dust, lost traffic at the end of Ortive Street, inadequate screening and security, and devaluation of the property value.
- Failure to demonstrate achievement of the City Plan's Desired Environmental Outcomes.
- The development will generate traffic movements far in excess of the reasonable expectations of residents within the surrounding residential area, and the subsequent loss of amenity for those residents.

The proposed additional works are considered not to give rise to any new issues that would result in persons objecting to the application. The buildings remain of the same height and bulk and are not located any closer to any adjoining property boundary.



The slight increase in GFA to accommodate additional multi-purpose accommodation and store rooms is considered to be minor and will not result not to result in any appreciable impacts on the local neighbourhood or surrounding area. Further, the increase in GFA will not give rise to any change of intensification of the approved use. The proposed changes are considered to satisfy the requirements of section 3.5.24 of IPA.

### **Section 3.5.33 - Change or cancel conditions:**

This section allows a person to ask an entity to change or cancel a condition of approval. This section applies if *"no assessable development would arise from the change or cancellation."*

Assessable development is defined in IPA as:

- "(a) development specified in Schedule 8, part 1; or*
- (b) for a planning area – development that is not specified in schedule 8, part 1 but is declared under the planning scheme for the area to be assessable development."*

In terms of assessing whether the proposed changes are assessable development, it is also relevant to consider whether the changes constitute a material change of use, given that the definition of development in IPA includes material change of use. A *'material change of use'* is defined as:

- "(a) generally –*
  - (i) the start of a new use of the premises; or*
  - (ii) the establishment on the premises of a use that has been abandoned;*
  - or*
  - (iii) a material change in the intensity or scale of the use of the premises;....."*

The slight increase in GFA of **438m<sup>2</sup>** is considered to be a minor increase and will not result in a material change in the intensity or scale of the use of the premises. The additional multi-purpose accommodation is proposed under the existing podium adjacent to the existing multi-purpose room. These new works will form an extension to the existing multi-purpose rooms and will not increase the scale of the stadium but merely fill a void under the existing podium. The additional work will improve the functionality of the Queensland Tennis Centre, providing an increased area for player training and development including drills, speedwork, motor skills and training in inclement weather.

On this basis, the proposed change is considered to satisfy the requirements of section 3.5.33.

## Assessment of the Proposed Change

### Visual Impacts

As demonstrated by the attached plans, the enclosure of **438m<sup>2</sup>** of the existing podium adjacent to the existing multi-purpose room and enclosure of an existing open space at podium level under stadium plats, will have little visual impact on the elevations of the building, and will not impact on the bulk or form of the building. The limited visual impacts are attributed to a number of factors as follows:

- New store rooms are located abutting the southern wall **under the existing podium**;
- The additional multi-purpose accommodation are located **under the existing podium** adjacent to the existing multi-purpose room;
- The new lightweight steel and fabric shade structures will shade large areas of the western podium concourse area which are affected by heat and the western sun in event mode, however these structures are largely screened from external view;
- The new shade structures have been designed to complement and integrate with the existing shade structures and stadium roof;

Visually and aesthetically the proposed changes are considered minor. The new works will not impinge on the skyline nor dominate the visual landscape. The nature of the new works and their site location also ensure that they are not visible from more distant vantage points.

### Intensity of Use

The proposed changes do not result in an increase in intensity of use or an increase in capacity of the Queensland Tennis Centre. The slight increase in GFA to accommodate additional multi-purpose accommodation and store rooms is considered to be minor and will not result in any appreciable impacts on the local neighbourhood or surrounding area.

The buildings remain of the same height, bulk and scale and are not located any closer to any adjoining property boundary. The additional floor area associated with these additional works will not result in a change or intensification of the existing approved use, rather will facilitate more efficient operations for the facility.



### Traffic Impacts

The proposed changes will not change the seating capacity of the Queensland Tennis Centre or the operation of the venue either on a day-to-day basis or during event mode. The proposed traffic and transport arrangements will not be affected by the proposed changes.

### Noise Impacts

The proposed changes will not result in any increased noise impacts to the neighbouring area. The acoustic attenuation requirements of the existing approval will continue to apply.

### Lighting Impacts

The original application addressed lighting impacts by confirming that the Queensland Tennis Centre will comply with the relevant Australian Standard and the Brisbane City Plan Light Nuisance Code. These standards will continue to apply.

## Supplementary Plans

Revised plans have been prepared providing further design details of the additional works. These plans are supplementary to the Approved Plans and are described as follows –

Plan Description	Plan Number	Plan Date
Queensland Tennis Centre Floor Plan Level 2	11-DA1012 rev D	05.08.2009
Queensland Tennis Centre General Arrangement Plan Level 1	11-DA1011 rev D	05.08.2009
Queensland Tennis Centre Proposed Podium Shade Structure – View 1	11-DA1950 rev A	06.08.2009
Queensland Tennis Centre Proposed Podium Shade Structure – View 2	11-DA1951 rev A	06.08.2009
Queensland Tennis Centre Proposed Podium Shade Structure – View 3	11-DA1952 rev A	06.08.2009

The following supplementary plans will replace some of the existing approved plans referenced in the Decision Notice.

Plan Description	Approved Plan	Revised Plan	Revised Plan Date
State Tennis Centre	11-DA1001 rev A	11-DA1001 rev B	05.08.2009

Master Site Plan			
State Tennis Centre North Elevation	11-DA1002 rev A	11-DA1002 rev B	05.08.2009
State Tennis Centre South Elevation	11-DA1003 rev A	11-DA1003 rev B	05.08.2009
State Tennis Centre East Elevation	11-DA1004 rev A	11-DA1004 rev B	05.08.2009
State Tennis Centre West Elevation	11-DA1005 rev A	11-DA1005 rev B	05.08.2009
State Tennis Centre Section	11-DA1006 rev A	11-DA1006 rev B	05.08.2009

Copies of the new plans are attached to this letter.

The following changes to conditions of the Decision Notice that relate to the proposed additional works are requested:

**Condition 31 currently reads:**

*Permanent Shade Structures*

*The erection of permanent shade structures over the show courts are limited to the two courts immediately west of the Centre Court as illustrated on Drawing Number 11-DA1001 Rev A, dated November 07, 11-DA1002 Rev A, dated Nov 07, 11-DA1003 Rev A, dated Nov 07, 11-DA1005 Rev A, dated Nov 07, 11-DA1006 Rev A, dated Nov 07.*

**Comment:**

The plans referred to in this condition have been updated to reflect the proposed new lightweight steel and fabric shade structures to shade large areas of the western podium concourse area which are affected by heat and the western sun in event mode.

The proposed new structures are permanent, freestanding structures. Structural support is proposed to be located on the grassed area adjacent concourse with shade sails counter levered over the concourse itself. Clearance of shade sail is proposed to range between circa 4 to 6.5 metres above concourse. New awning shade structures are proposed over the café for additional shading.

These changes are illustrated on DA1001 rev B, DA1002 rev B, DA1003 rev B, DA1005 rev B and DA1006 rev B.



We are aware that the proposed new shade structures are an addition to the last shade structures applied for, they are not for shading over courts and visually and aesthetically the changes are minor. This additional shading for spectators is considered reasonable and should be supported to improve the functionality of the State Tennis Centre.

**Amend condition 31 to read:**

*Permanent Shade Structures*

*The erection of permanent shade structures are limited to those illustrated on Drawing Number 11-DA1001 rev B dated 5 August 2009,, 11-DA1002 Rev B dated 5 August 2009, , 11-DA1003 Rev B dated 5 August 2009, 11-DA1005 Rev B dated 5 August 2009, 11-DA1006 Rev B dated 5 August 2009.*

In support of this application, please find enclosed:

- Duly completed IDAS Form 2 (including owners consent from Stadiums Queensland)
- 6 sets A3, 1 set A1 application plans prepared by Mirvac Design
- The agreed application fee of **\$3,800**.

In accordance with s3.5.24 1(a) of the *Integrated Planning Act 1997*, we have on an even date, advised each of the relevant concurrence agencies of this application.

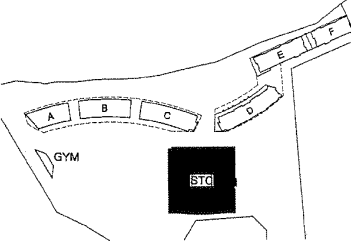
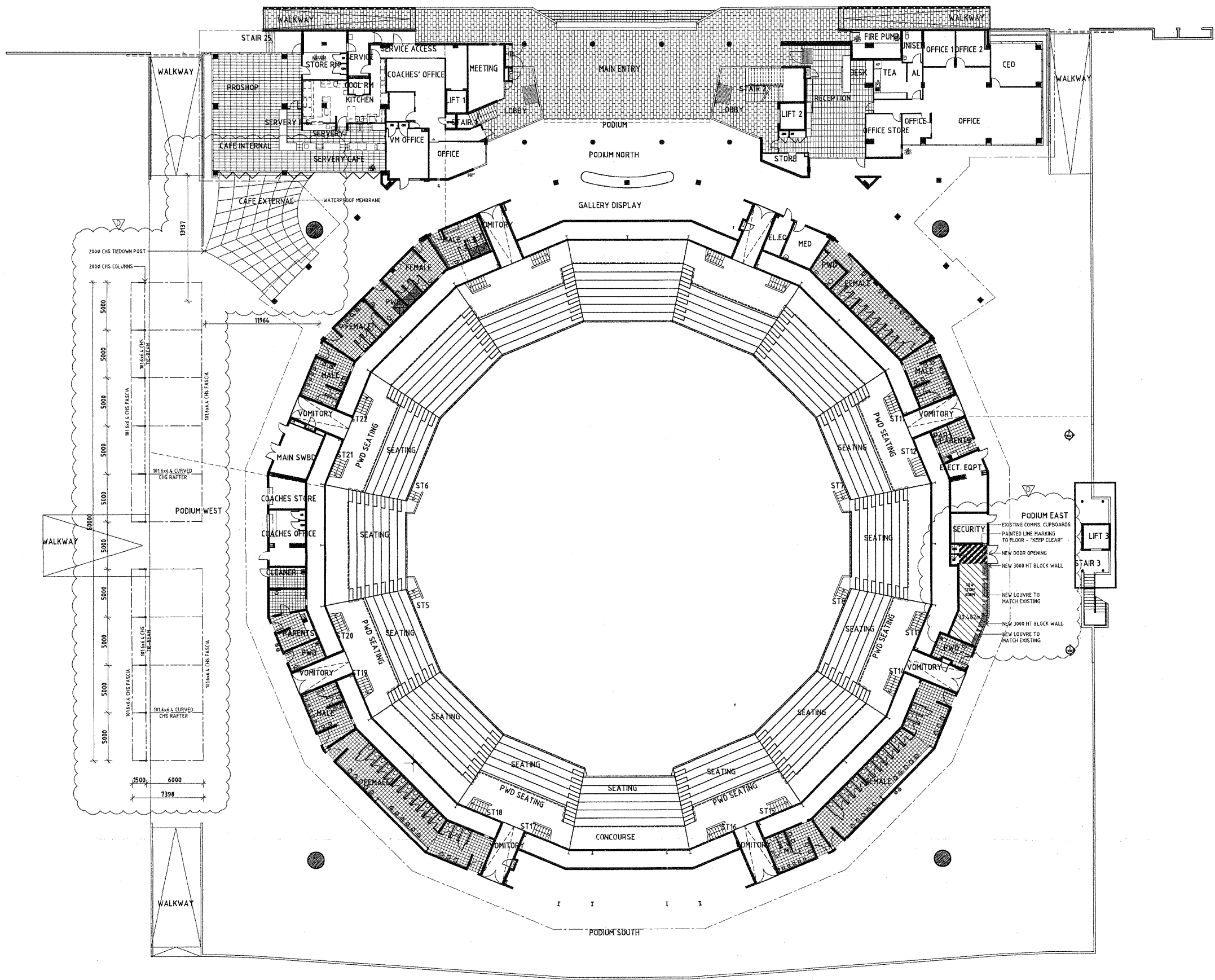
I trust that the supporting documentation will enable Council to consider and process this application in an expeditious and favourable manner.

Please do not hesitate to contact me should you require any further information or clarification on any aspect of the application.

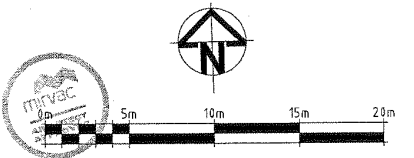
Yours faithfully  
**Brannock & Associates**

John Brannock  
**Director**

Encl.



- LEGEND - PLANS**
- ACCESS ZONE FOR CIRCULATION AND ESCAPE - INTERMEDIATE STEPS ARE NOT REQUIRED IN THIS ZONE
  - CONCRETE SEATING
  - CONCRETE SEATING PLATS
  - PEOPLE WITH DISABILITIES - ACCESS PATH



date	rev	amendment
18/10/05	B	State Government Submission & M.P.R. - (SMC)
18/10/05	C	DA ISSUE - (SMC)
05/08/09	D	REVISED DA - (SMC)

date	rev	amendment

project **Queensland State Tennis CENTRE**

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title **QUEENSLAND TENNIS CENTRE  
FLOOR PLAN - LEVEL 2**

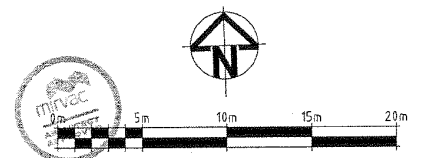
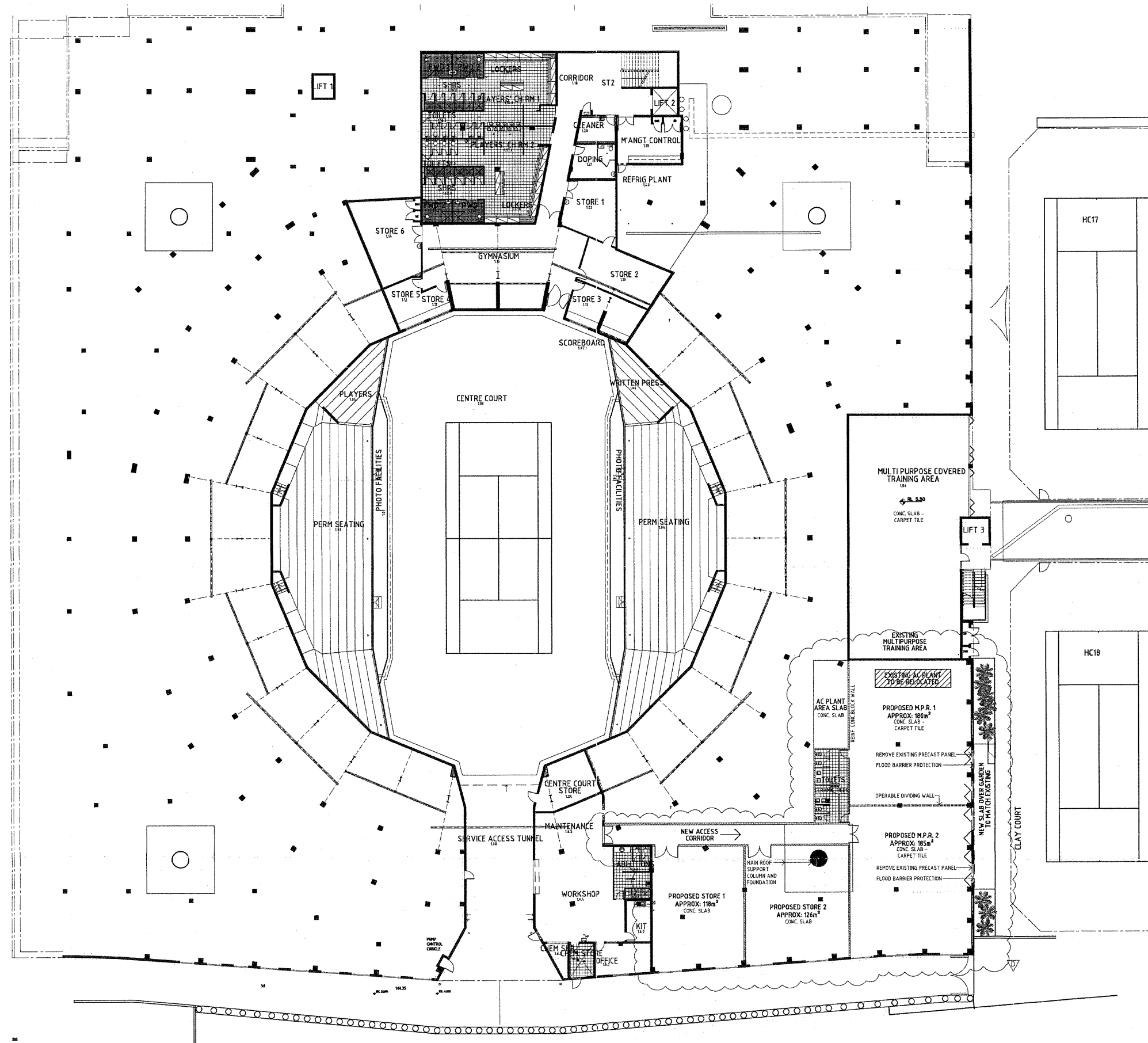
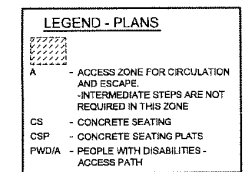
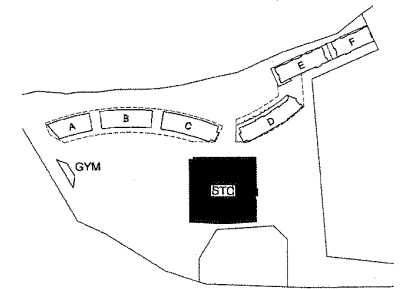
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date AUG 05 scale @ A1 1:200 @ A1

job no. 51711 drawing no. 11-DA1012 rev D

Signed: WALKERL: Approved 6/08/2009 12:16:16 PM





drawn 517/51711-mcates.11-DA101101- 06/ Aug/ 2009- 10:23:32 AM

date AUG 05 scale @ A1 1:200 @ A1

job no. 51711 drawing no. 11-DA1011 rev D

Signed: WALKERL: Approved 6/08/2009 12:16:16 PM  
BCC 067.1090



date	rev	amendment
18/10/95	B	State Government Submission & N.P.R. - (SMc)
08/11/95	C	DA ISSUE - (SMc)
05/08/99	D	REVISED DA. - (SMc)

date	rev	amendment
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project **queensland**  
**State Tennis**  
CENTRE

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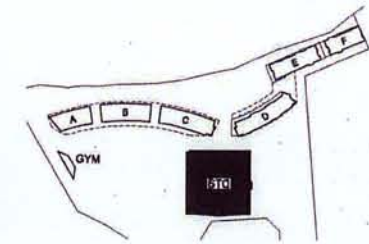
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Lvl 2 164 Grey Street  
South Bank, QLD, 41  
tel. (07) 3659 5899  
fax. (07) 3010 1800

Mirvac Design Pty. Ltd.  
ABN 78 003 359 153

QUEENSLAND TENNIS CENTRE  
GENERAL ARRANGEMENT PLAN  
LEVEL 1





date	rev	amendment
04/08/09	A	REVISED SA - 11th

date	rev	amendment

project  
**queensland  
State Tennis  
CENTRE**

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Site

**QUEENSLAND TENNIS CENTRE  
PROPOSED PODIUM SHADE STRUCTURE  
VIEW 1 FROM SOUTH-WEST CORNER**



drawn  
date AUG 09  
job no. 51711

517/51711-mirvac 11-DA1950-A1-06/ Aug/2009 - 01:10:53 PM

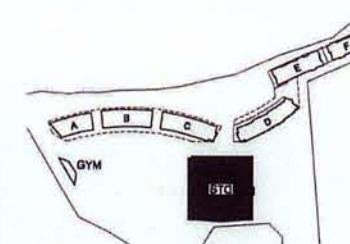
scale @ A1 N.T.C.

drawing no. 11-DA1950-A  
BCC:067.1081









date 06/06/99	rev A	amendment REVISED DA - 1376
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date	rev	amendment
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**project** **queensland**  
**State Tennis**  
CENTRE

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ABN 78 022 562 023

QUEENSLAND TENNIS CENTRE  
PROPOSED PODIUM SHADE STRUCTURE  
VIEW FROM NORTH-WEST CORNER



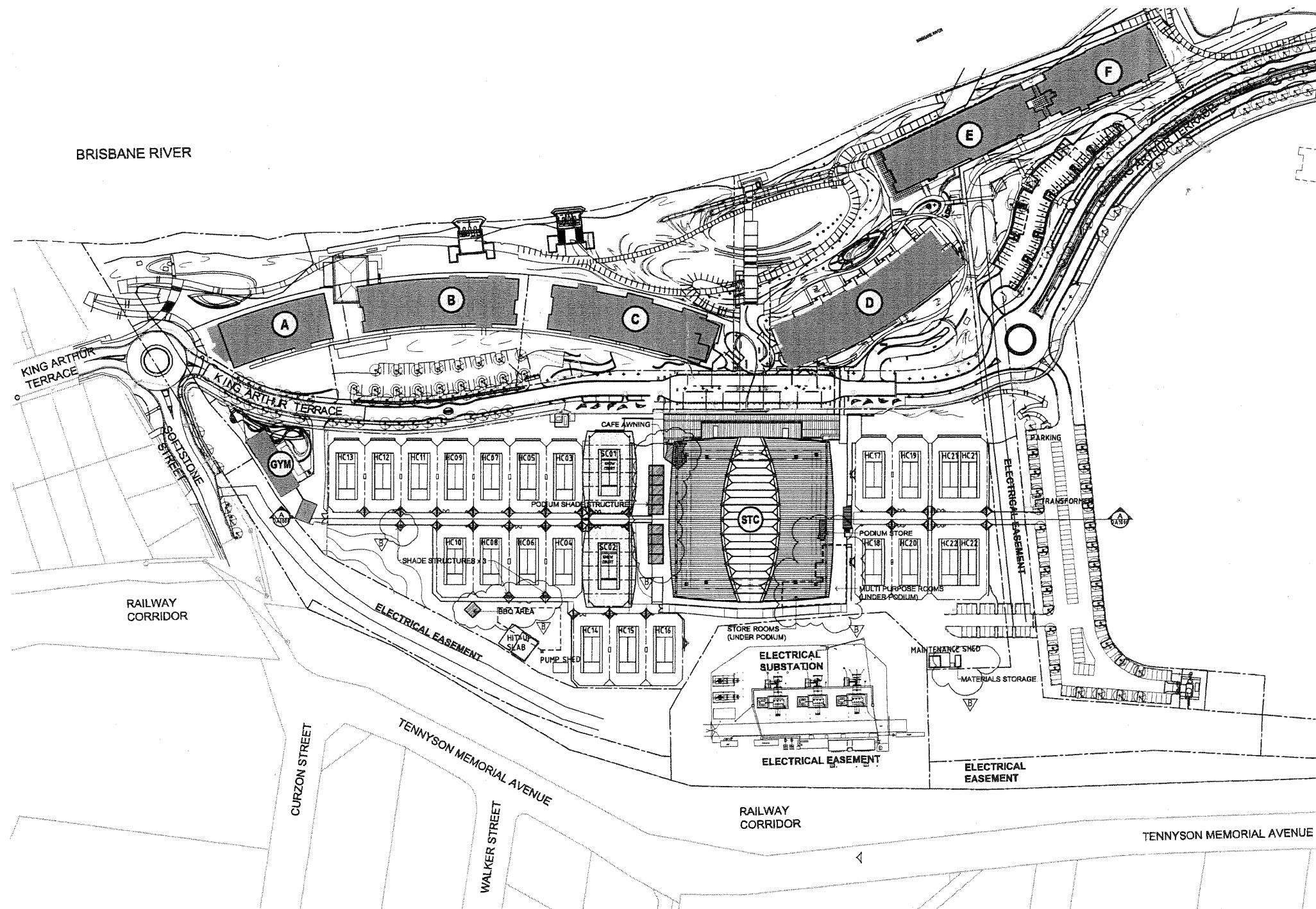
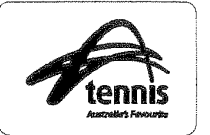
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date AUG 08 scale @ A1 N.T.C.

job no. 51711 drawing no. 11-DA1952 A

BCC-067.1083





FOR APPROVAL

date	rev	amendment
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05/06/19	B	REVISED DA - (DA)

date	rev	amendment

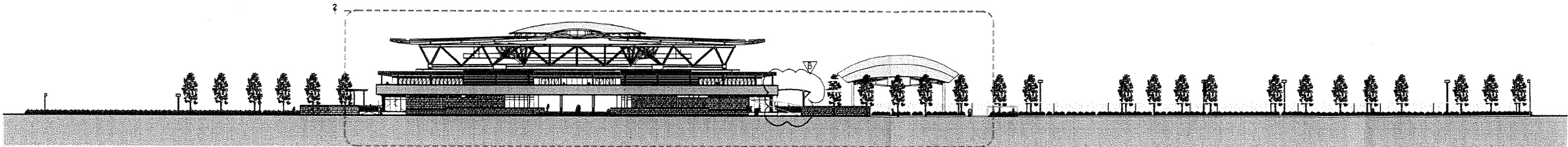
project  
**queensland  
State Tennis  
CENTRE**  
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Mirvac Design Pty Ltd  
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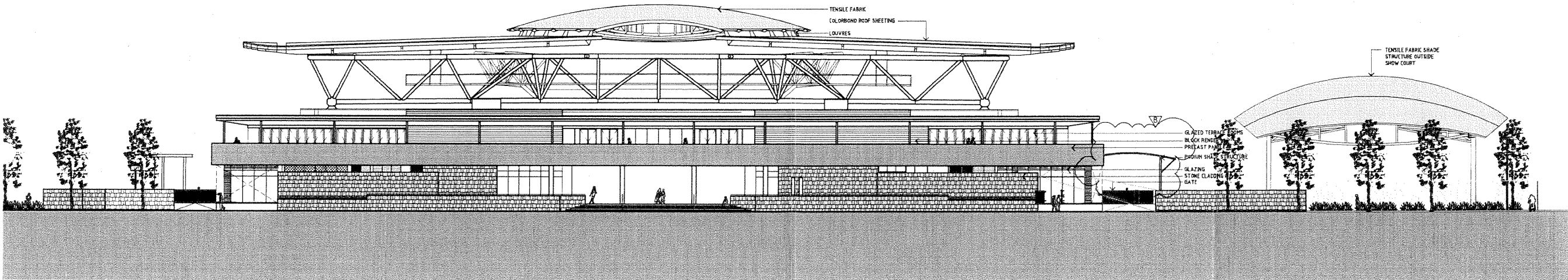
QUEENSLAND TENNIS CENTRE  
MASTER SITE PLAN

drawn  
date NOV 17  
job no. 51711  
scale @ A1 1:1000 @ A1  
drawing no. 11-DA1001 rev B  
BCC.067.1073





1 NORTH ELEVATION  
SCALE 1:500



2 NORTH ELEVATION  
SCALE 1:250



date	rev	amendment
23/11/07	A	ISSUE FOR DEVELOPMENT APPROVAL - (AO)
05/08/09	D	REVISED DA - (SHU)

date	rev	amendment

project **queensland State Tennis CENTRE**

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Mirvac Design Pty Ltd  
ABN 78 003 529 107

11 NORTH ELEVATION  
QUEENSLAND TENNIS CENTRE

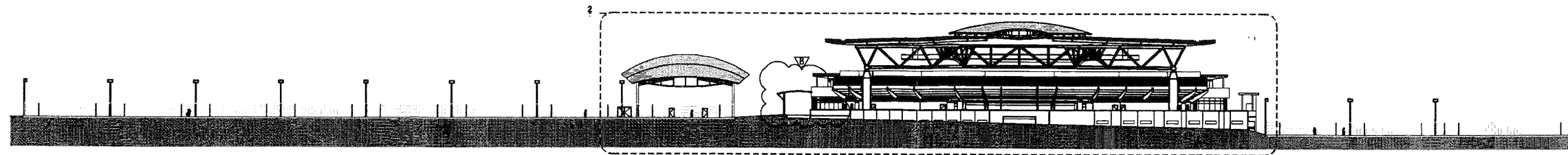


**FOR APPROVAL**

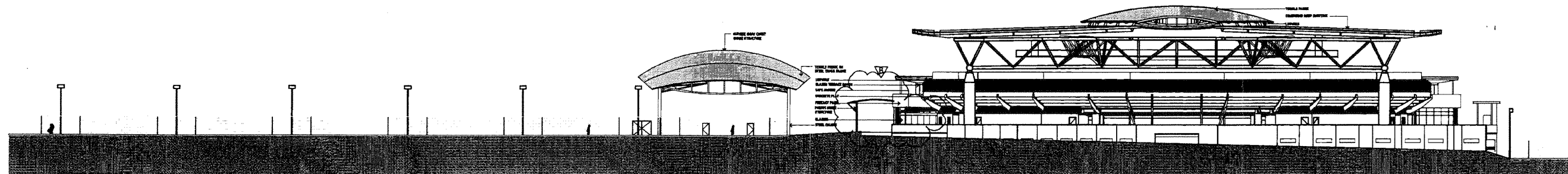
date	rev	amendment
NOV 07		
job no. 51711	scale @ A1 1:100 @ A1	drawing no. 11-DA1002 rev B

BCC.067.1074





1 SOUTH ELEVATION  
SCALE 1:100



2 SOUTH ELEVATION  
SCALE 1:100



date	rev	amendment
27/10/17	A	ISSUE FOR DEVELOPMENT APPROVAL - IAG
05/06/19	B	REVISED IAG - (2019)

date	rev	amendment

project **queensland State Tennis CENTRE**

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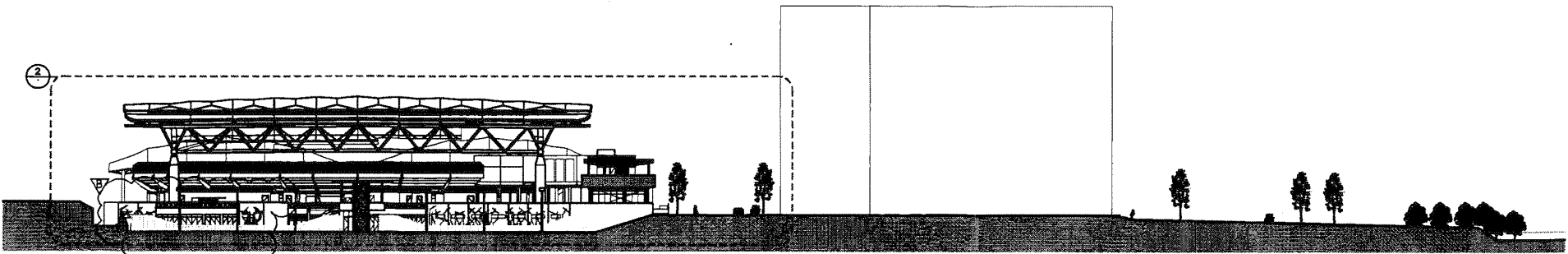
**SOUTH ELEVATION  
QUEENSLAND TENNIS CENTRE**



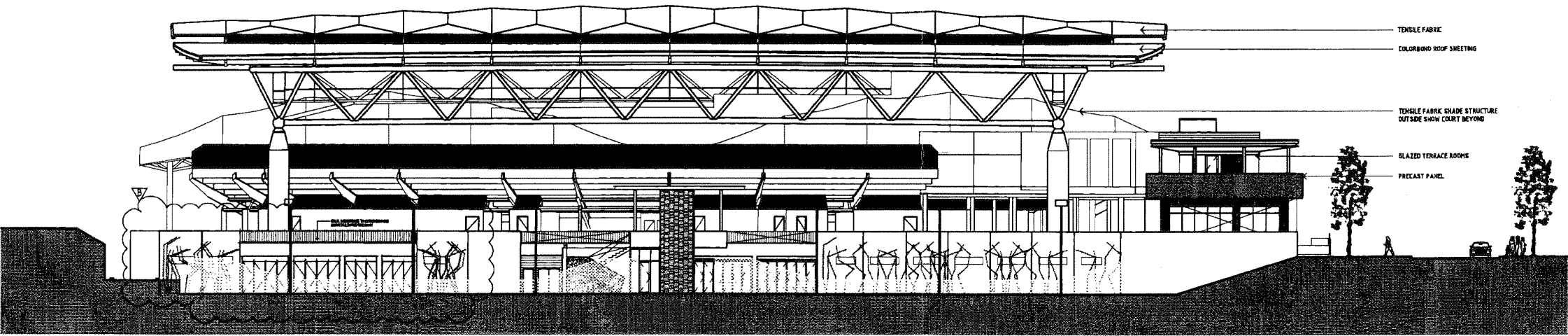
**FOR APPROVAL**

drawn	date	scale	job no.	drawing no.
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BCC-133.1242



1 EAST ELEVATION  
SCALE 1:500



2 EAST ELEVATION  
SCALE 1:200



date	rev	amendment
10/10/17	A	ISSUE FOR DEVELOPMENT APPROVAL - (A2)
10/10/17	B	REVISED DA - (A2)

date	rev	amendment

project **queensland State Tennis CENTRE**

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ABN 16 620 100 100

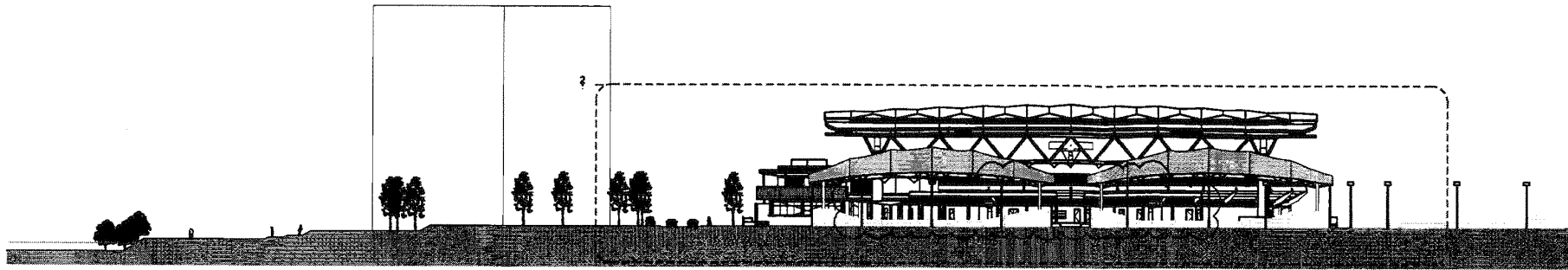
site **EAST ELEVATION  
QUEENSLAND TENNIS CENTRE**



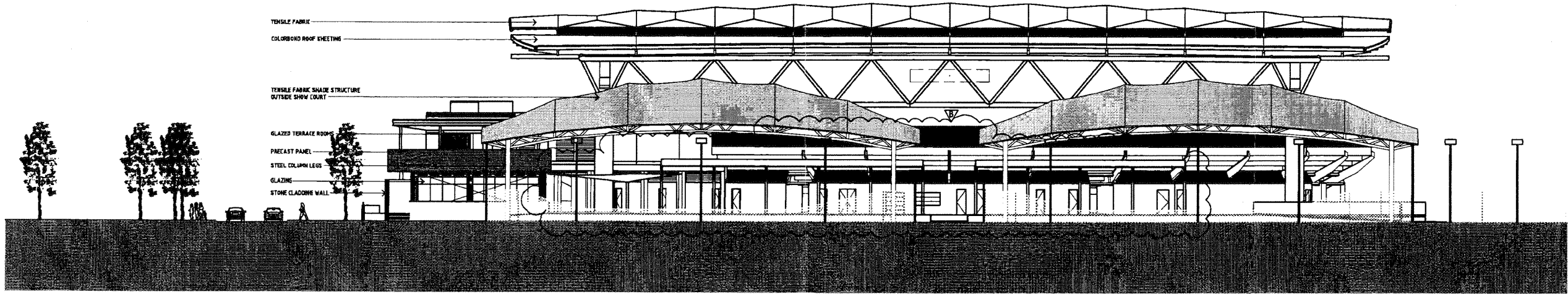
**FOR APPROVAL**

date	rev	amendment
NOV 07	A	AS SHOWN @ A1
job no. 51711	drawing no. 11-DA1004	BCC: 733.1243





1 WEST ELEVATION  
SCALE 1:500



2 WEST ELEVATION  
SCALE 1:200



date	rev	amendment
23/07/17	A	ISSUE FOR DEVELOPMENT APPROVAL - IAC
05/08/19	B	REVISED DA - 18/10

date	rev	amendment

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mirvacdesign.com.au  
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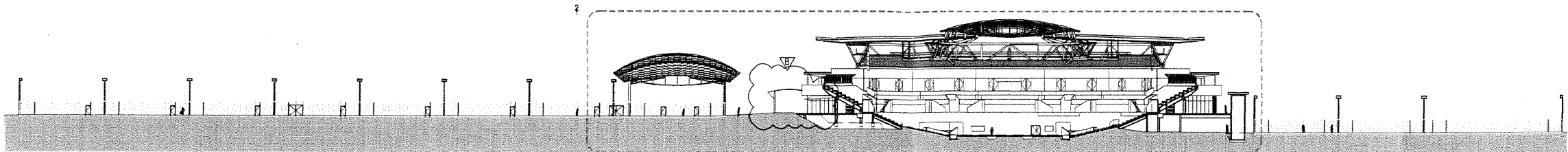
WEST ELEVATION  
QUEENSLAND TENNIS CENTRE



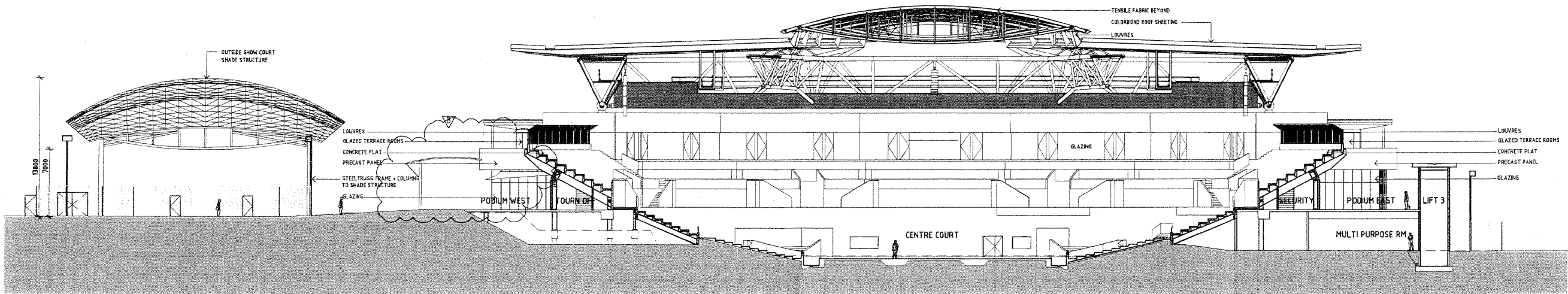
FOR APPROVAL

drawn	517/51711-west-elev-11-24-1805081-06/Aug/2009-10:22:56 AM
date	NOV 07
scale	@ A1 AS SHOWN @ A1
job no.	51711
drawing no.	11-DA1005

B33, P244



**A SECTION A A**  
DA1001 SCALE 1:500



**2 SECTION A A**  
SCALE 1:250



date	rev	amendment
29/11/17	A	ISSUE FOR DEVELOPMENT APPROVAL - IAG
05/08/19	B	REVISED D.A. - IAG

date	rev	amendment

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ABN 78 003 359 107

SECTION AA  
QUEENSLAND TENNIS CENTRE



**FOR APPROVAL**

drawn	S 17/S1711-mst/tes.11-DA1006B- 06/Aug/2019- 19:23:11 A1
date	NOV 17
scale	@ A1 AS SHOWN @ A1
job no.	51711
drawing no.	11-DA1006 rev B BCC.067.1078