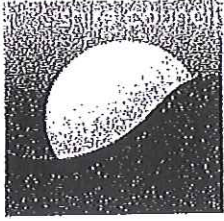


Emerald



Contact Name: [Redacted]
Contact No: [Redacted]
Our Ref: BA121-08

Decision Notice
APPROVAL
Integrated Planning Act 1997 S 3.5.15

3rd October 2007

EB Games
PO Box 3769
LOGANHOLME QLD 4129

QFCI

Date: 29/09/11 JM

Exhibit Number: 682

Dear Sir

RE: Development Application Number BA 121-08 being for a Shop Fit Out on land described as Lot 3 on Registered Plan 901712 situated at Shop 29 Centro Emerald Shopping Centre Egerton Street, Emerald.

We wish to advise that the above development application was-

- Approved in full with conditions. The conditions relevant to this approval are attached. These conditions are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

Details of the Approval

The following type of approval has been issued – *Carrying out Building Works (assessable against the Standard Building Regulations 1993).*

1. The Currency Period

The standard currency periods in section 3.5.21 of IPA apply to each aspect of development in this approval.

2. Expiry Date

This approval will expire two (2) years from the date of this development approval, if work has not been completed.

COPIED FOR
DATAWORKS
DONE

Doc No: 146448
Date Rec: 03/10/07
Location:

3. The Approved Plans

The approved plans and/or documents for this development approval are listed in the following table -

PLAN / DOCUMENT NUMBER	PLAN / DOCUMENT NAME	DATE	REV
786/ 01, 02 & 10	Design Design	14/09/2007	

4. Other Necessary Development Permits

No other development permits identified.

5. Conditions

Attached is a list of conditions forming part of this approval.

This approval will expire two (2) years from the date above if building work has not been completed.

Any condition placed on this application by Emerald Shire Council will be included in the conditions of this Decision Notice.

The applicant for the development approval for a class 2 to 9 building must ensure that one legible set of the current drawings for the development is available for inspection on the building site while the building work is in progress.

If no arrangements have been made with the Building Certifier prior to the commencement of the project the following will apply: -

Notification for inspection must be given to the Building Certifier (24) hours prior to

- Footings, Stump Holes – prior to pouring the concrete
- Floor Slab - prior to pouring the concrete
- Block fill - prior to pouring the Blocks if applicable
- The installation of fire rated elements stage – after installation of the fire rated wall, ceiling or floor but before interior surface finishes are applied;
- The installation of special fire services stage(s) – notice of inspection must also be given to the fire authority at the following stages – while the installation of special fire services is being carried out but before the installation is completed;
after installation of the special fire services but before interior surface finishes are applied;
- Framing – Prior to sheeting
- Final – Prior to occupancy

Lot boundary pegs are to be in place for the Private Certifier, if sufficient pegs are not in place, or if any doubt exists, the Private Certifier may require the lot to be resurveyed by a Licensed Surveyor.

A Certificate of Classification will not be issued until the following certificates marked , have been received and all work has been completed in accordance with *The Building Act 1975 and the Standard Building Regulations*.

SCHEDULE OF CERTIFICATES, REQUIRED UPON COMPLETION PRIOR TO THE ISSUE OF CERTIFICATE OF CLASSIFICATION

- Surveyor – Building Set out Certificate
- Engineers Structural Inspection Certificate
- Mechanical Ventilation
- Emergency Light and Exit Signs
- Sound and/or Fire Rated Construction Certificate from Licensed Installer
- Fire doors, Jambs and Fittings – installed and Tags
- Glazing/Windows/Doors/Shower Screens Certificate from supplier
- Termite certificate complying with AS3660.1
- Balustrades/Handrails Certificate from installer
- Waterproofing Basements, roofs, shower Trays certificate from accredited installer
- Fire Safety installation. Two Copies of ‘as constructed’ Drawings Depicting the Location of all Fire Safety Installations
- An approved Final Plumbing Inspection
- Clearance Certificate from Town Planning Department

STORM WATER REQUIREMENTS

A stormwater drainage system from roofed areas shall be piped to discharge to an approved inter-allotment stormwater drainage system, alternatively to the kerb and channel (where possible), or as directed by the Local Authority. No detrimental effects on neighbouring properties are to occur as a result of this development.

INSTALLATION CERTIFICATES

The certificates required at the final inspection are:

- Frame
- Truss
- Termite
- Glazing
- Flood Ht
- Smoke Alarms
- Waterproofing
- Energy Efficiency
- Sustainable Buildings

SMOKE ALARMS

Smoke alarms are to be installed in accordance with the BCA (Volume 2) Part 3.7.2.

TOILET DOOR

The toilet door is required to comply with BCA (Volume 2) Part 3.8.3.3.

AWNINGS ATTACHED TO ROOF

The roof trusses, where the awning is attached, are to be strengthened in accordance with TRADAC technical data sheet 19.

REDUCED ALIGNMENT CONDITIONS

All conditions placed on the Reduced Alignment or Amenity and Aesthetics Approvals are to be complied with and form part of this approval.

STAIRS AND BALUSTRADING

Stair and balustrade construction is to comply with Part 3.9.1 and Part 3.9.2 of Volume 2 of the Building Code of Australia. Timber handrails are to be installed in accordance with TRADAC technical data sheet 23.

CROSSOVER

New driveway access crossovers are to be approved by the Local Authority prior to their construction.

BUILDING OVER SEWERS POLICY

The construction of the proposed structure is to comply with the requirements of the Building Over Sewers Policy of the Local Authority. Any piers placed as a result of the policy are required to be inspected prior to being poured.

BATHROOM WINDOW

Windows located in the bathroom are to comply with the requirements of clause 3.6.9 of the BCA Volume 2.

TRUSS/FRAME CERTIFICATE

The Truss/Frame Certificate is required at/or prior to the frame inspection being carried out.

COMPETENT INSPECTIONS

The inspection certificates resulting from competent person inspections are to be forwarded to Emerald Shire Council within 5 business days of the inspection being undertaken.

LOCATE DRAINAGE LINES

Prior to the excavation of foundations for the proposed building, the house drainage line, septic trenches and septic tank are to be located. The building is to be located clear of the above items in accordance with the relevant Acts and legislation.

LOCATE MAIN LINE SEWER

Prior to excavation of foundations for the proposed building, the mainline sewer and jump-up locations are to be located. The building is to be located clear of the above items in accordance with the relevant council's Sewer policy, Acts and legislation.

CUT AND FILL

The maximum permissible slope of any embankment is to be in accordance with Table 3.1.1.1 of Volume 2 of the Building Code of Australia. If these limits cannot be

met, retaining walls will be required, and any retaining wall over one metre in height requires submission of construction details for approval.

CERTIFY LOCATION

A Registered Surveyor is to certify that the building is located in the position indicated on the approved drawings. The original surveyors certificate should be provided to Emerald Shire Council prior to final inspection.

LOT ID

Lot boundary pegs are to be in place for the Private Certifier, if sufficient pegs are not in place, or if any doubt exists, the Private Certifier may require the lot to be resurveyed by a Licensed Surveyor.

IDENTIFY BOUNDARY PEGS

The boundary pegs are to be identified by a Registered Surveyor prior to the footing inspection.

ENERGY EFFICIENCY

Energy efficiency products and installation must comply with the manufactures requirements and the appropriate sections of Section J of the Building Code of Australia.

TERMITE TREATMENT

A termite risk management system is to be installed in compliance with AS3660.1 and the Queensland Amendment to the Building Code of Australia.

FLOOR HEIGHT (FLOOD)

A Registered Surveyor is to certify that the habitable floor height is not less than 300mm above the Q100 flood height. The designated Q100 flood height for this application is (What is the designated flood height in AHD?).

SPREAD OF FLAME

All materials, linings and finishes shall comply with Specification C1.10 of the BCA. Details of spread of flame indicies and smoke developed indicies of all relevant materials, except those exempt under part 7 of Specification C1.10, are to be submitted to the Private Certifier prior to final approval being given.

SEPARATION OF CENTRAL SMOKE CONTROL

Separation of Central Smoke Control plant shall comply with BCA Clause C2.12.

OPENINGS FOR SERVICE INSTALLATIONS

Openings for service installations in an element that is required to have a Fire Resistance Level shall comply with BCA Clause C3.15.

CONSTRUCTION JOINTS

Construction joints etc, in and between building elements are required to be fire resisting with respect to integrity and insulation shall be in accordance with BCA Clause C3.16.

FIRE DOORS

Fire doors shall comply with BCA Specification C3.4. Certificates of compliance shall be supplied to Emerald Shire Council prior to final approval being given.

LIGHTING COMPLIANCE

Certification that the general lighting complies with AS 1680 is to be submitted to Emerald Shire Council prior to final approval being given.

PLUMBING AND DRAINAGE WORK COMPLIANCE

Plumbing and drainage work is to be carried out by a Licensed Plumber and Drainer and comply with Sewerage and Water Supply Law and AS 3500.

INSTALLATIONS IN EXITS

Installations in exits and paths of travel shall comply with BCA Clause D2.7.

ENCLOSURE OF SPACE UNDER EXITS

Any enclosure of spaces under required stairs shall comply with BCA Clause D2.8.

MECHANICAL VENTILATION SYSTEMS

Mechanical Ventilation Systems shall be designed and installed in accordance with the BCA Section F4.5 – F4.9. Certification that the Mechanical Ventilation and Air Conditioning System has been installed and operates in accordance with the approved drawings and AS 1668.2 and AS 3666 (to include test results) is to be submitted to Emerald Shire Council prior to final approval being given.

CERTIFICATE OF STRUCTURAL ADEQUACY

All structural work shall be inspected and certified by the Designing Engineer. A Certificate of Structural Adequacy and complete structural plans and specifications are required prior to final approval being given.

FIRE EXTINGUISHER

Portable fire extinguisher classification, rating and location shall be in accordance with AS 2444 (Layout plan including location size and type shall be approved by Emerald Shire Council prior to installation).

DISABILITY AMENITY COMPLIANCE

Amenities for people with disabilities shall comply with AS 1428.1.

FINAL INSPECTION

No occupation of the building is permitted until a final inspection has been carried out and a Certificate of Classification has been issued.

TREADS AND RISERS

Treads and risers shall comply with BCA Clause D2.13.

BALUSTRADES

Balustrades shall comply with BCA Clause D2.16.

HANDRAILS

Handrails shall comply with BCA Clause D2.17.

POWER OPERATED DOORS

Power operated doors shall comply with BCA Clause D2.19. Certification of such shall be provided from the installer prior to final approval being given.

LATCH ON DOORS

The operation of latch on doors in an exit or forming part of an exit shall comply with BCA clause D2.21.

SIGNAGE ON DOORS

Signage on doors shall comply with BCA Clause D2.23.

DISABILITY ACCESS

Paths of travel for persons with disabilities, access to and throughout all buildings, shall be provided and comply with BCA Clause D3.2 and AS 1428.1.

DISABLED CARPARKS

Disabled car parks shall be provided in accordance with BCA Clause D3.5.

IDENTIFICATION OF ACCESSIBLE FACILITIES

Identification of accessible facilities, services and features shall comply with BCA Clause D3.6.

TACTILE INDICATORS

Tactile Indicators are to be provided and shall comply with BCA Clause D3.8.

FIRE PRECAUTIONS DURING CONSTRUCTION

Fire precautions during construction shall comply with BCA Clause E1.9.

EMERGENCY LIGHTING

Emergency lighting and illuminated exit signage shall be provided and comply with the BCA Sections E4.2 – E4.8 and AS 2293.1. A Certificate of Compliance from a suitably qualified electrician shall be submitted prior to final approval being given.

THE EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM

The emergency warning and intercommunication system shall comply with As 2220 Pars 1 and 2. Certification of such by the installer shall be provided prior to final approval being given.

CONSTRUCTION OF SANITARY COMPARTMENTS

Construction of the sanitary compartments shall comply with BCA Clause F2.5.

FIRE HYDRANT CERTIFICATION

The fire hydrant system shall comply with the requirements of the Building Code of Australia, section E1.3 and AS 2419.1. Certification of the hydrant shall be provided from a suitably qualified Hydraulics Engineer prior to the final approval being given. Test results are to be included.

FALL FROM ROOFS

Where a person is exposed to the hazard of falling from a building or structure while cleaning or maintenance of work is being carried out –

- a. A work system designed to prevent such falls must be used; and
- b. Where safety belt anchorage points are used they must be positioned on the building or structure so that a lifeline or safety harness may be attached before proceeding to appoint where it is possible to fall; and
- c. Anchorage points for the attachment of safety harnesses must comply with AS 2626.

ROOF LIGHT & VENT LOCATION

Roof lights and vent ducts are to be located further than 3 metres from any boundary or have fire collars fitted.

POLE PLATE FIXING

Pole plate is to be fixed to structure in compliance with TRADAC technical data sheet 4, Note: veneer or other single skin brick walls may not be structurally adequate and require additional piers or free standing posts.

POOL OPENINGS

There are to be no door openings into the pool enclosure, and all windows that open into the pool enclosure are to be security screened.

SPECULAR REFLECTIVITY

Specula Reflectivity Any reflective material has:

1. A level of light reflectivity of no more than 20% a level of heat transmission of not less than 20%.

GUTTERS & DOWNPIPES

The size and location of the gutters and down pipes is to be in compliance with the BCA 3.5.2.

QDC PART 29

Compliance with part 29 of the Queensland Development Code "Sustainable Buildings" is required prior to the issue of Form 21.

6. Appeal Rights

Attached is an extract from the *Integrated Planning Act 1997* which details your rights regarding this decision.

7. When the Development Approval Takes Effect

This development approval takes effect –

➤ From the time the decision notice is given, if there is no submitter and the applicant does not appeal the decision to the court.

OR

➤ When the submitter's appeal period ends, if there is a submitter and the applicant does not appeal the decision to the court.

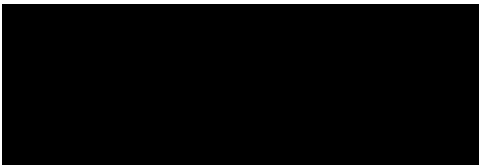
OR

➤ Subject to the decision of the court, when the appeal is finally decided, if an appeal is made to the court.

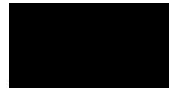
This approval will lapse unless substantially started within the above stated currency periods (refer to sections 3.5.19 and 3.5.20 of IPA for further details).

If you wish to discuss this matter further, please contact Council on telephone number (07) 4982 8341.

Yours faithfully



Phil Brumley
Acting Chief Executive Officer
Emerald Shire Council



Manager Building Services
Emerald Shire Council